

SITE / SITE ANALYSIS PLAN  
SCALE 1:200

ABBREVIATIONS LEGEND

-E- DENOTES EXISTING

G GAS  
KIP KERB INLET PIT  
W WATER TAP  
WM WATER METER

SYMBOLS LEGEND

DASHED GREEN LINE INDICATES EXTENT OF  
UNENUMBERED OUTDOOR SPACE. REFER  
UNENUMBERED SPACE CALCULATIONS NOTE  
ON SHEET A03

AREAS

EXISTING	EXISTING BUILDING FOOTPRINT =	398.6 m <sup>2</sup>
PROPOSED UPPER FLOOR	RECEPTION / OFFICE / STAIR ADDITION =	107.5 m <sup>2</sup>
	ENTRY PORCH =	8.3 m <sup>2</sup>
	OUTDOOR AREA =	10.3 m <sup>2</sup>
PROPOSED GROUND FLOOR	STAFF ROOM / LAUNDRY ADDITION =	92.1 m <sup>2</sup>
	CLASSROOM ADDITION =	106.2 m <sup>2</sup>
	NEW DECK EXTENSION =	14.5 m <sup>2</sup>
PROPOSED LOWER FLOOR	STORE ADDITION =	30.3 m <sup>2</sup>
	TOTAL PROPOSED BUILDING FOOTPRINT =	638.9 m <sup>2</sup>
SITE	SITE AREA =	2497.3 m <sup>2</sup>

SECTION J COMPLIANCE NOTE

THESE PLANS TO BE READ IN CONJUNCTION WITH ASSOCIATED SECTION J REPORT.

BUILDING FABRIC

- REFER SECTION J REPORT FOR ALL REQUIRED MINIMUM ROOF, WALL, CEILING, FLOOR, WINDOW & DOOR INSULATION VALUES  
- RECESSED LIGHTING TO GO OVER THE FITTING WITH NO PENETRATION

BUILDING SEALING

- EXHAUST FANS TO BE FITTED WITH SELF-CLOSING DAMPER.  
- EXTERNAL DOORS & WINDOWS TO BE FITTED WITH AIR INFILTRATION SEALS.  
- ENTRY DOORS TO BE FITTED WITH SELF-CLOSING DEVICE.

AIR CONDITIONING AND VENTILATION

- PROVIDE TIME SWITCH TO AIR CONDITIONING SYSTEM.

ARTIFICIAL LIGHTING AND POWER

- INTERIOR LIGHTING TO BE SWITCHED WITHIN THE LIGHTING ZONE.  
- INTERIOR DECORATIVE AND DISPLAY LIGHTING TO BE CONTROLLED SEPARATELY FROM OTHER LIGHTING & WITH A TIME SWITCH IF >1kW.  
- EXTERIOR LIGHTING TO BE ON DAYLIGHT SENSORS.  
- MAX. ILLUMINATION POWER - REFER TO SECTION J REPORT.  
- PROVIDE TIME SWITCH TO BOILING & CHILLED WATER STORAGE UNITS.

HEATED WATER SUPPLY

- DESIGNED AND INSTALLED IN ACCORDANCE WITH PART 02 OF NCC VOL. 3

FACILITIES FOR ENERGY MONITORING

- ELECTRICITY AND GAS SUPPLY TO BE ON TIME-OF-USE METERS

FACILITIES FOR SOLAR PHOTOVOLTAIC AND BATTERY SYSTEMS

- MAIN ELECTRIC SWITCHBOARD:  
a) TO BE FITTED WITH AT LEAST 2 EMPTY THREE-PHASE CIRCUIT BREAKER SLOTS AND 2 4 DIN RAIL SPACERS LABELLED FOR EACH SOLAR PV SYSTEM AND EACH BATTERY SYSTEM  
b) TO BE SIZED TO ACCOMMODATE THE INSTALLATION OF SOLAR PV SYSTEM PRODUCING THEIR MAXIMUM ELECTRICAL OUTPUT ON AT LEAST 20% OF BUILDING ROOF AREA  
- AT LEAST 20% OF ROOF AREA TO BE LEFT CLEAR FOR FUTURE INSTALLATION OF SOLAR PANELS

ACCESSIBILITY NOTE

BUILDING CONTRACTOR TO ENSURE ALL ACCESSIBLE FACILITIES, CIRCULATION SPACES AND PATHS OF TRAVEL ARE TO COMPLY WITH BCA VOL. 1 AND AS 1428.1 AND ALL TACTILE GROUND SURFACE INDICATORS ARE TO COMPLY WITH BCA VOL. 1 D409, AS 1428.1 AND AS 1428.4.1.

STAIR, BARRIER & HANDRAIL NOTE

STAIRS TO BE CONSTRUCTED IN ACCORDANCE WITH THE RELEVANT PARTS OF BCA VOL. 1, D3014 GOINGS AND RISERS AND AS1428.1 DESIGN FOR ACCESS AND MOBILITY, PART 11 STAIRWAYS.  
BARRIERS TO BE CONSTRUCTED IN ACCORDANCE WITH BCA VOL. 1, D3017-D3021.  
HANDRAILS TO BE CONSTRUCTED IN ACCORDANCE WITH BCA VOL. 1, D3022 HANDRAILS & AS1428.1, PARTS 10-12.  
GOINGS - UNLESS NOTED OTHERWISE - 280  
RISERS - 115 MIN. 190 MAX. BUILDING CONTRACTOR TO CHECK FINISHED LEVELS ON SITE TO ENSURE ALL RISERS ARE EQUAL.

RAMPS & LANDINGS NOTE

RAMPS & LANDINGS TO BE CONSTRUCTED IN ACCORDANCE WITH AS 1428.1 DESIGN FOR ACCESS AND MOBILITY, PART 10 WALKWAYS, RAMPS AND LANDINGS.

SEWER & STORMWATER NOTE

PLUMBING AND DRAINAGE DESIGN & INSTALLATION TO BE IN ACCORDANCE WITH NCC PLUMBING CODE OF AUSTRALIA AND AS/NZS 3500 PLUMBING AND DRAINAGE PARTS 0, 1, 2, 3 & 4.  
PLUMBING CONTRACTOR SHALL ENSURE THE DESIGN AND INSTALLATION IS IN COMPLIANCE WITH THE ABOVE AND SHALL LOCATE ALL BOUNDARY RISERS & MAINS SPURS PRIOR TO COMMENCEMENT OF WORK.  
CONNECT NEW SEWER & STORMWATER PIPE SYSTEM TO EXISTING COUNCIL MAINS SYSTEM.  
OR CONNECT TO NEW OR EXISTING ON-SITE SEWER TREATMENT SYSTEM.

CUT & FILL NOTE:

ALL CUT & FILL LEVELS TO BE CHECKED ON SITE BY BUILDING CONTRACTOR PRIOR TO EXCAVATION.

ON-STREET CARPARKING NOTE

BUILDING CONTRACTOR TO ENSURE NEW ACCESSIBLE AND SHARED SPACES COMPLY WITH WITH AS/NZS 2890.3 ON-STREET CAR PARKING.

COMPLIANCE NOTES

BUILDING CLASS: CLASS 9b - CHILDCARE CENTRE  
CONSTRUCTION TYPE: TYPE C  
(<2000m<sup>2</sup> /12000m<sup>2</sup>)

BCA VOLUME 1

REFER TO STATE VARIATIONS WHERE RELEVANT.

SECTION A GOVERNING REQUIREMENTS

BUILDING DESIGN & COMPLIANCE, CONSTRUCTION AND MATERIAL SELECTIONS TO COMPLY WITH THIS PART INCLUDING STATE VARIATIONS AND REFERENCED AUSTRALIAN STANDARDS. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL REFERENCE THESE DOCUMENTS FOR FURTHER DETAILS TO ENSURE DESIGN AND INSTALLATION COMPLIANCE. CONTRACTORS TO ENSURE MATERIALS USED ARE SUITABLE FOR PURPOSE, ARE MANUFACTURED TO AUSTRALIAN STANDARDS. HAVE THE REQUIRED CERTIFICATION AND FIRE HAZARD PROPERTIES.

SECTION B STRUCTURAL PROVISIONS

STRUCTURE TO COMPLY WITH PART 81 STRUCTURAL PROVISIONS. REFER STRUCTURAL ENGINEER'S PLANS AND SPECIFICATIONS.

SECTION C FIRE RESISTANCE

THE BUILDING DESIGN COMPLIES WITH APPLICABLE PARTS OF SECTION C FOR THE BUILDING CLASS, CONSTRUCTION TYPE, AREA & VOLUME. SPECIFICATION 7 FIRE HAZARD PROPERTIES: BUILDING ELEMENTS, MATERIALS AND FINISHES TO BE SELECTED IN ACCORDANCE WITH SPECIFICATION 7 FIRE HAZARD PROPERTIES. PROVIDE WRITTEN EVIDENCE TO PRINCIPAL CERTIFYING AUTHORITY.

SECTION D ACCESS AND EGRESS

THE DESIGN OF ACCESS TO AND WITHIN THE BUILDING HAS BEEN DESIGNED TO COMPLY WITH THE RELEVANT PARTS OF SECTION D.

PART D2 PROVISION FOR ESCAPE - NUMBER OF EXITS REQUIRED, EXIT TRAVEL DISTANCES, DISTANCES BETWEEN ALTERNATIVE EXITS AND DIMENSIONS OF EXITS AND PATHS OF TRAVEL AND NUMBER OF PERSONS ACCOMMODATED COMPLY WITH THESE PARTS.

PART D3 CONSTRUCTION OF EXITS - EXITS CONSTRUCTION, HARDWARE AND SIGNAGE COMPLY WITH THIS PART.

PART D4 ACCESS FOR PEOPLE WITH A DISABILITY - ACCESS TO AND THROUGHOUT THE BUILDING AND FACILITIES COMPLY WITH THIS PART AND AS 1428 DESIGN FOR ACCESS AND MOBILITY, PART 1: GENERAL REQUIREMENTS FOR ACCESS - NEW BUILDING WORK AND PART 4.1 MEANS TO ASSIST THE ORIENTATION OF PEOPLE WITH VISION IMPAIRMENT - TACTILE GROUND SURFACE INDICATORS.

PART D5 VISIBILITY IN EMERGENCY, EXIT SIGNS AND WARNING SYSTEMS: EMERGENCY LIGHTING, EXIT SIGNS & FIRE DETECTION & WARNING SYSTEMS, WHERE REQUIRED, TO BE DESIGNED & INSTALLED BY AN APPROPRIATELY ACCREDITED PERSON & IN ACCORDANCE WITH THIS PART, AS 2283.1 EMERGENCY LIGHTING AND EXIT SIGNS FOR BUILDINGS AND AS 1670.1 FIRE DETECTION, WARNING, CONTROL, AND INTERCOM SYSTEMS - SYSTEM DESIGN, INSTALLATION AND COMMISSIONING - FIRE.

SECTION F HEALTH AND AMENITY

THE BUILDING HAS BEEN DESIGNED TO COMPLY WITH THE RELEVANT PARTS OF THIS SECTION INCLUDING: PART F2 WET AREAS AND OVERFLOW PROTECTION, AND AS 3740 WATERPROOFING OF DOMESTIC WET AREAS.

PART F4 SANITARY AND OTHER FACILITIES: SANITARY FACILITIES HAVE BEEN PROVIDED IN ACCORDANCE WITH PARTS F4D5, F4D6 AND F4D7: ACCESSIBLE SANITARY FACILITIES, ACCESSIBLE UNISEX SANITARY COMPARTMENTS AND ACCESSIBLE UNISEX SHOWERS HAVE BEEN DESIGNED IN ACCORDANCE WITH THESE PARTS AND AS 1428.1 DESIGN FOR ACCESS & MOBILITY.

PART F6 LIGHT AND VENTILATION: REFER STATE VARIATION NSW PROU - MECHANICAL AIR CONDITIONING SYSTEM TO COMPLY WITH AS 1669.2 THE USE OF VENTILATION AND AIR CONDITIONING IN BUILDINGS.

SECTION G AUXILIARY PROVISIONS

COMPLY WITH RELEVANT PARTS OF THIS SECTION.

H SPECIAL USE BUILDINGS

N/A

SECTION J ENERGY EFFICIENCY: REFER TO ENERGY ASSESSORS SECTION J REPORT AND THESE PLANS FOR DETAILS AND SPECIFICATIONS FOR COMPLIANCE WITH THE RELEVANT PARTS OF SECTION J.

BUILDING NOTES:

ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORKS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SEALING. IF IN DOUBT, ASK. BUILDER TO ENSURE ALL UNDERGROUND SERVICES, PIPES AND CABLES TO BE LOCATED PRIOR TO EXCAVATION. GO TO [www.byda.com.au](http://www.byda.com.au) FOR SERVICES INFORMATION.  
SITE: THE BUILDER SHALL SUPPLY/INSTALL AND MAINTAIN THE FOLLOWING IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS:  
- STABILISED ENTRY POINT  
- CONTROLLED RUBBISH AREA  
- TOILET FACILITIES

COMPLIANCE: ALL BUILDING WORK TO COMPLY WITH THE 'BUILDING CODE OF AUSTRALIA', AND ANY REFERENCED 'AUSTRALIAN STANDARDS AND LOCAL COUNCIL AUTHORITY REQUIREMENTS. ALL AREAS TO BE MADE GOOD BY THE BUILDER WHERE DISTURBED BY THE NEW WORK.

NCC SECTION 4: ALL SELECTIONS TO COMPLY WITH ENERGY EFFICIENCY PERFORMANCE REQUIREMENTS OF THE ASSOCIATED SECTION J REPORT.

CONCRETE: MATERIALS AND CONSTRUCTION: TO AS 3600 CONCRETE STRUCTURES.  
SPECIFICATION AND SUPPLY OF CONCRETE: TO AS 1379 SPECIFICATION AND SUPPLY OF CONCRETE.

CONCRETE FOOTINGS, SLABS AND REINFORCEMENT TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DETAILS.

TIMBER FRAMING: FABRICATION AND INSTALLATION OF TIMBER CONSTRUCTION TO COMPLY WITH AS 1684 TIMBER FRAMING CODE.

STEEL: MATERIALS, CONSTRUCTION, FABRICATION AND ERECTION: TO AS 4100 STEEL STRUCTURES.

MASONRY: MATERIALS AND CONSTRUCTION TO AS 3700 MASONRY STRUCTURES.

COLD-FORMED STEEL: AS/NZS 4600 COLD-FORMED STEEL STRUCTURES.

PLUMBING AND DRAINAGE: DESIGN & INSTALLATION TO AS/NZS 3500.0, AS/NZS 3500.1, AS/NZS 3500.2, AS/NZS 3500.3 AND AS/NZS 3500.4 AND THE PLUMBING CODE OF AUSTRALIA.

GAS: TO AS/NZS 5601.1 GENERAL INSTALLATIONS.

ELECTRICAL: TO AS/NZS 3000 ELECTRICAL INSTALLATIONS UNLESS OTHERWISE DOCUMENTED.

ELECTRICAL SYSTEMS TO AS/NZS 3008.1.1 ELECTRICAL INSTALLATIONS AND SAA HB 301.

TELECOMMUNICATIONS SYSTEMS: TO AS/ACF 3008, AS/ACF 3009, AS/NZS 3080, SAA HB 243 AND SAA HB 29.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

AMBIGUITY, ERROR OR OMISSION NOTE

IF IN DOUBT, ASK: IF IT DOESN'T LOOK RIGHT, QUESTION IT!  
ANY PERSON INVOLVED WITH THIS PROJECT (CONSULTANT, CONTRACTOR, SUB-CONTRACTOR, AUTHORITY, SUPPLIER, OWNER AND THE LIKE) THAT DISCOVERS ANY AMBIGUITY, ERROR OR OMISSION IN ICONO'S DOCUMENTS, OR BETWEEN ICONO'S DOCUMENTS AND ANY OTHER RELEVANT DOCUMENTS (CONSULTANTS PLANS, REPORTS, DCP, LEP, BCA, AUSTRALIAN STANDARDS OR THE LIKE), SHALL ADVISE ICONO IMMEDIATELY AND SEEK CLARIFICATION. NO DECISIONS WITH REGARD TO APPROVAL, PRICING, SUPPLY OR CONSTRUCTION ARE TO BE MADE WITH RESPECT TO THE ISSUE WITHOUT WRITTEN APPROVAL OR UPDATED DOCUMENTATION TO CORRECT THIS AMBIGUITY, ERROR OR OMISSION.

WORKPLACE HEALTH & SAFETY

DURING CONSTRUCTION AND THE ON GOING MAINTENANCE OF THIS BUILDING ENSURE WORKPLACE HEALTH AND SAFETY IS FULLY UNDERSTOOD AND IMPLEMENTED BY ALL PERSONS INVOLVED WITH THIS JOB.

REFER TO THE PRELIMINARIES WORKSECTION IN THE SPECIFICATION FOR THE EXPLANATIONS OF THE 10 KEY AREAS OF INFLUENCE. THESE AREAS ARE AS FOLLOWS:

- FALLS, SLIPS AND TRIPS,
- FALLING OBJECTS,
- TRAFFIC MANAGEMENT,
- SERVICES,
- MANUAL TASKS,
- HAZARDOUS SUBSTANCES,
- CONFINED SPACES,
- PUBLIC ACCESS,
- OPERATION USE OF BUILDING RESIDENTIAL BUILDINGS,
- OTHER HIGH RISK ACTIVITY.



4	ISSUED FOR DA	31/10/2024
3	PROGRESS ISSUE	28/10/2024
2	PROGRESS ISSUE	23/11/2023
1	PROGRESS ISSUE	8/11/2023

Amendments



Project  
**PROPOSED ALTERATIONS AND ADDITIONS  
TUMUT COMMUNITY PRESCHOOL  
LOT 1, DP 828879  
50 HOWICK STREET, TUMUT**

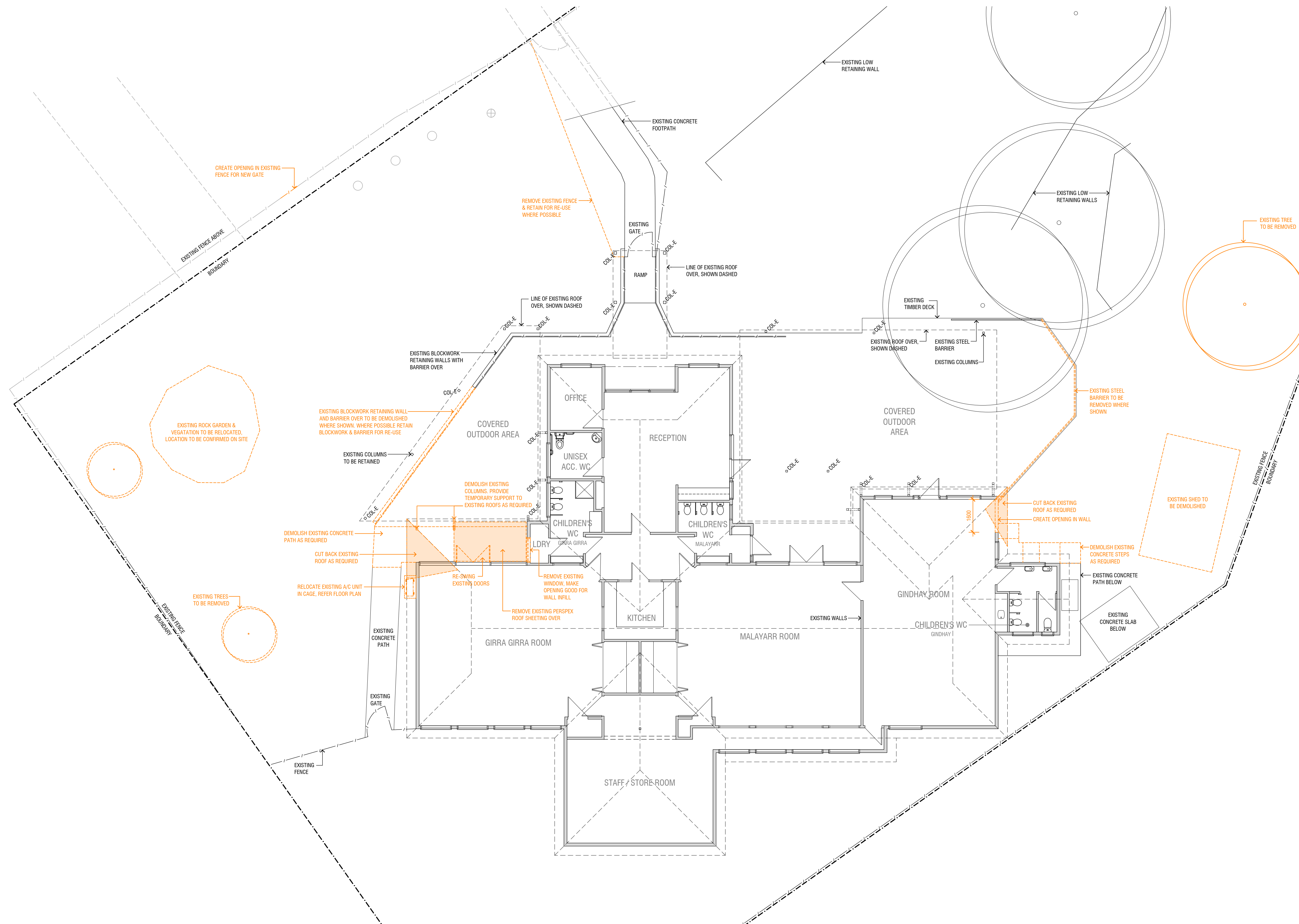
Client  
**TUMUT COMMUNITY PRESCHOOL**

Sheet Title  
**SITE / SITE ANALYSIS PLAN**

Project No. <b>22-37</b>	Designed <b>ICONO</b>	Sheet No. <b>A01</b>
Scale <b>AS SHOWN AT A1</b>	Drawn <b>ICONO</b>	Issue / Amendment No. <b>4</b>



THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL DRAWINGS AND SPECIFICATIONS RELATING TO THIS PROJECT. REFER SHEET A01 FOR BUILDING NOTES AND COMPLIANCE NOTES.



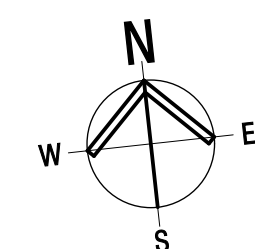
DEMOLITION PLAN  
SCALE 1:100

## ABBREVIATIONS LEGEND

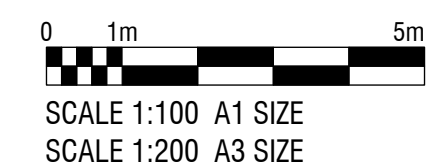
'E' DENOTES EXISTING  
COL COLUMN



### LEGEND

#### ITEMS TO BE DEMOLISHED

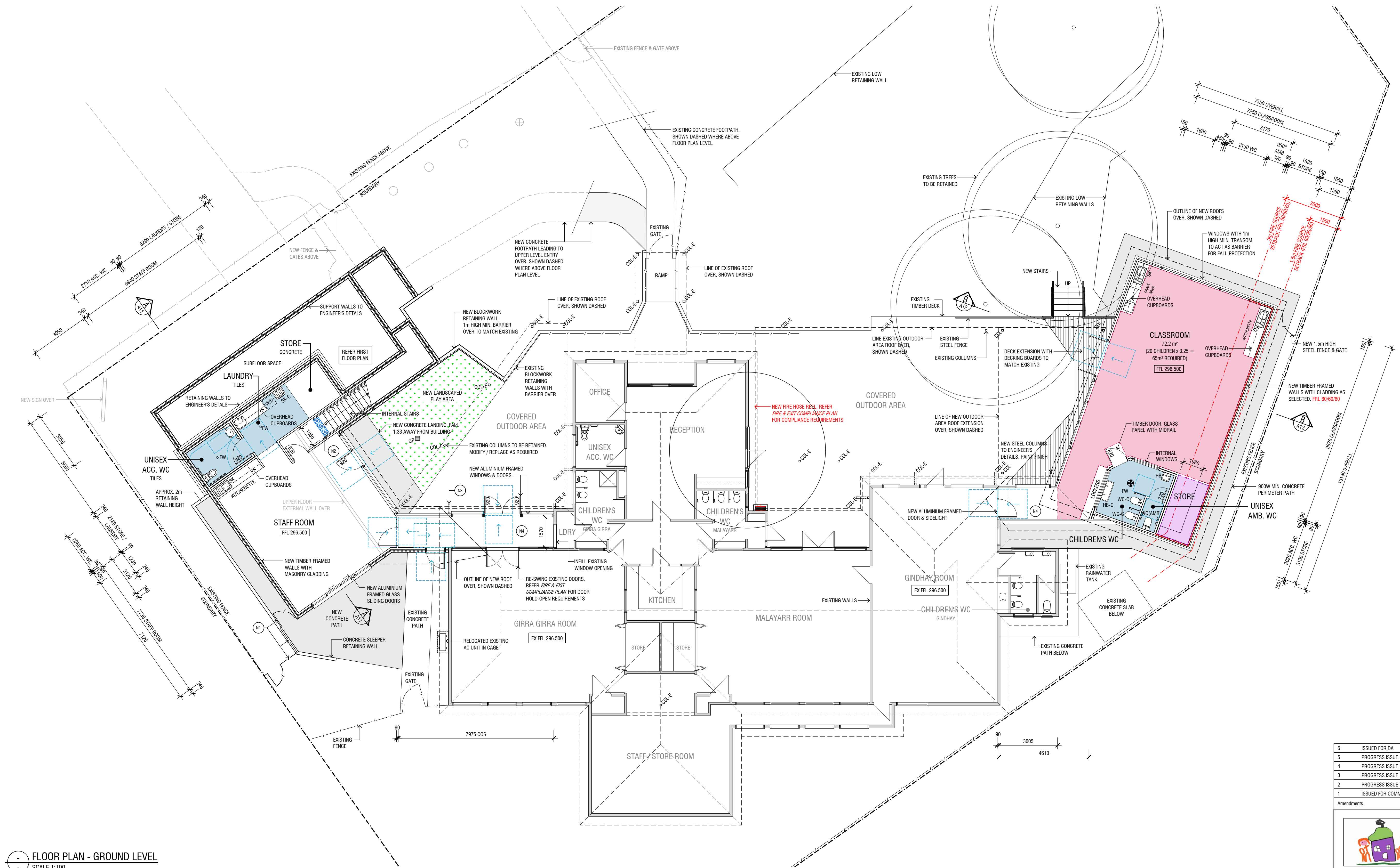


**PRELIMINARY**  
NOT FOR CONSTRUCTION



2	ISSUED FOR DA	31/10/2024
1	PROGRESS ISSUE	28/10/2024
Amendments		
		
 <p>Shop 30 Kooringal Mall Lake Albert Road PO Box 8834 Wagga Wagga, NSW, 2650 p: 02 6922 6388 e: <a href="mailto:info@icono.com.au">info@icono.com.au</a> w: <a href="http://www.icono.com.au">www.icono.com.au</a></p>		
<p>Project</p> <p><b>PROPOSED ALTERATIONS AND ADDITIONS TUMUT COMMUNITY PRESCHOOL LOT 1, DP 828879 50 HOWICK STREET, TUMUT</b></p>		
<p>Client</p> <p><b>TUMUT COMMUNITY PRESCHOOL</b></p>		
<p>Sheet Title</p> <p><b>DEMOLITION PLAN</b></p>		
<p>Project No</p> <p><b>22-37</b></p>	<p>Designed</p> <p><b>ICONO</b></p>	<p>Sheet No.</p> <p><b>A02</b></p>
<p>Scale</p> <p><b>AS SHOWN AT A1</b></p>	<p>Drawn</p> <p><b>ICONO</b></p>	<p>Issue / Amendment No.</p> <p><b>2</b></p>





FLOOR PLAN - GROUND LEVEL  
SCALE 1:100

ABBREVIATIONS LEGEND

C/S	CAVITY SLIDER
CBD	CUPBOARD
COL	COLUMN
COS	CHECK ON SITE
FHR	FIRE HOSE REEL
FW	FLOOR WASTE
GP	GRATED PIT
HB	HAND BASIN - ADULT
HB-C	HAND BASIN - CHILDREN'S
SK	SINK
SK-C	SINK - CLEANER'S
T	LAUNDRY TUB
W/D	WASHING MACHINE / DRYER
WC(C)	TOILET - CHILDREN'S
WC(AMB)	TOILET - AMBULANT

SYMBOLS LEGEND

- DOOR CIRCULATION CLEARANCES AS PER BCA & AS 1428.1 PART 13 DOORWAYS, DOORS AND CIRCULATION SPACE AT DOORWAYS. ARROW DENOTES DIRECTION OF APPROACH.
- EXHAUST FAN TO BE DUCTED TO OUTSIDE. REFER COMPLIANCE NOTES FOR COMPLIANCE STANDARDS.
- STUD DIMENSIONS NOMINALLY ALLOW FOR LININGS & WALL FINISH. REFER TYPICAL COMPLIANCE DETAILS ON SHEET A03 FOR REQUIRED FINISHED CLEARANCES
- RED CROSS HATCH INDICATES EXTENT OF NEW FFL 60/60/60 WALLS

- UNENCUMBERED INDOOR SPACE
- UNENCUMBERED INDOOR STORAGE SPACE

NOTES SCHEDULE

- 1.5m HIGH STEEL SECURITY FENCE & GATE
- TACTILE GROUND SURFACE INDICATORS, REFER ACCESSIBILITY NOTE FOR COMPLIANCE REQUIREMENTS
- NEW COLUMN AS REQUIRED TO SUPPORT EXISTING DETACHED ROOF STRUCTURE
- CEILING TO NEW ENCLOSED LINK AT SAME HEIGHT AS EXISTING PRESCHOOL CEILING HEIGHT (2.4m HIGH MIN.)

UNENCUMBERED SPACE CALCULATIONS

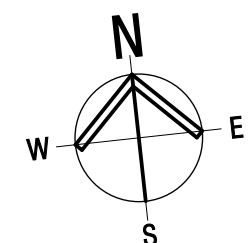
TOTAL CHILDREN = 20  
REQUIRED UNENCUMBERED INDOOR SPACE =  $20 \times 3.25m^2 = 65.0 m^2$   
PROVIDED UNENCUMBERED INDOOR SPACE =  $72.2 m^2$   
REQUIRED UNENCUMBERED OUTDOOR SPACE =  $20 \times 7.0m^2 = 140.0 m^2$   
PROVIDED UNENCUMBERED OUTDOOR SPACE =  $109.0m^2$   
NOTE: REFER SHEET A01 FOR EXTENT OF UNENCUMBERED OUTDOOR SPACE  
REQUIRED INDOOR STORAGE SPACE =  $0.2m^3 \times 20 = 4.0 m^3$   
PROVIDED INDOOR STORAGE SPACE =  $14.0 m^3$   
REQUIRED OUTDOOR STORAGE SPACE =  $0.31 \times 20 = 6.0 m^3$   
PROVIDED OUTDOOR STORAGE SPACE =  $60.5 m^3$   
(STORE BELOW CLASSROOM ADDITION)

NUMBER OF PERSONS ACCOMMODATED FOR IN SANITARY FACILITIES

SANITARY FACILITIES DESIGN OCCUPANCY TO AS4 VOL. 1 TABLE F4D4g - SANITARY FACILITIES IN CLASS 9b BUILDINGS - EARLY CHILDHOOD CENTRES.

PROPOSED NUMBER OF CHILDREN = 20  
BUILDING CLASS = 9B - EARLY CHILDHOOD CENTRE

	CLOSET PANS		WASHBASINS	
	PROVIDED	REQUIRED	PROVIDED	REQUIRED
CHILDREN - 20	2	2	2	2



PRELIMINARY  
NOT FOR CONSTRUCTION

0 1m 5m  
SCALE 1:100 A1 SIZE  
SCALE 1:200 A3 SIZE

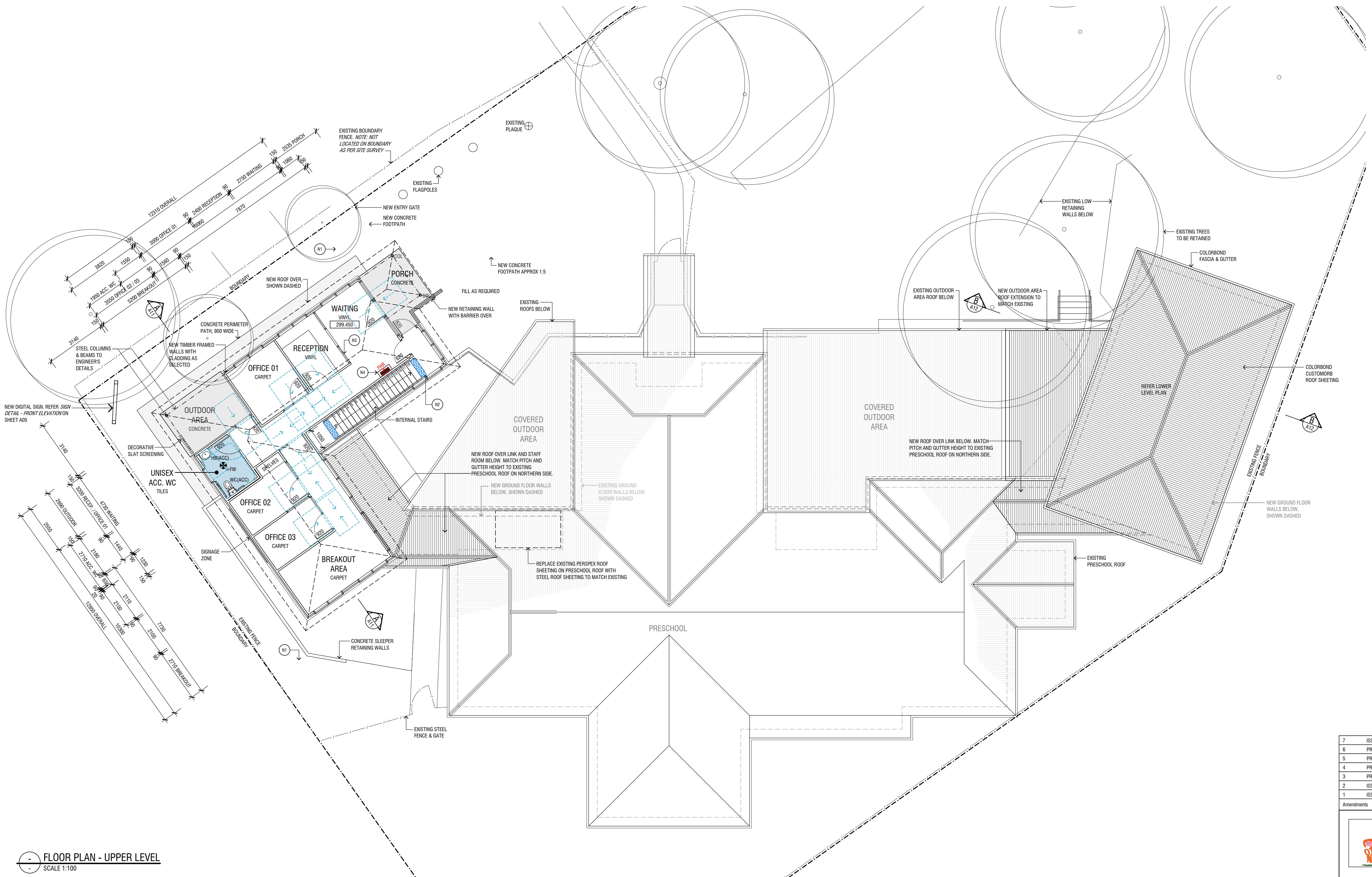
6	ISSUED FOR DA	31/10/2024
5	PROGRESS ISSUE	28/10/2024
4	PROGRESS ISSUE	24/09/2024
3	PROGRESS ISSUE	23/11/2023
2	PROGRESS ISSUE	17/11/2023
1	ISSUED FOR COMMENT	15/08/2023

Amendments



Project <b>PROPOSED ALTERATIONS AND ADDITIONS TUMUT COMMUNITY PRESCHOOL LOT 1, DP 828879 50 HOWICK STREET, TUMUT</b>			
Client <b>TUMUT COMMUNITY PRESCHOOL</b>			
Sheet Title <b>FLOOR PLAN - GROUND LEVEL</b>			
Project No. <b>22-37</b>	Designed <b>ICONO</b>	Sheet No. <b>A03</b>	
Scale <b>AS SHOWN AT A1</b>	Drawn <b>ICONO</b>	Issue / Amendment No. <b>6</b>	





FLOOR PLAN - UPPER LEVEL  
SCALE 1:100

ABBREVIATIONS LEGEND

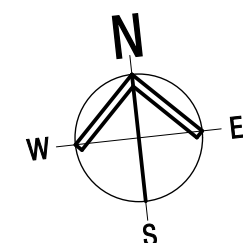
C/S CAVITY SLIDER  
COL COLUMN  
COS CHECK ON SITE  
FHR FIRE HOSE REEL  
FW FLOOR WASTE  
HB(ACC) HAND BASIN - ACCESSIBLE  
HWS HOT WATER SYSTEM  
WC(ACC) TOILET - ACCESSIBLE

SYMBOLS LEGEND

DOOR CIRCULATION CLEARANCES AS PER BCA & AS 1428.1 PART 13 DOORWAYS, DOORS AND CIRCULATION SPACE AT DOORWAYS. ARROW DENOTES DIRECTION OF APPROACH.  
EXHAUST FAN TO BE DUCTED TO OUTSIDE. REFER COMPLIANCE NOTES FOR COMPLIANCE STANDARDS.

NOTES SCHEDULE

- (N1) 1.5m HIGH STEEL SECURITY FENCE & GATE  
(N2) TACTILE GROUND SURFACE INDICATORS, REFER ACCESSIBILITY NOTE FOR COMPLIANCE REQUIREMENTS  
(N3) ALUMINUM FRAMED INTERNAL GLAZING  
(N4) NEW FIRE HOSE REEL, REFER FIRE & EXIT COMPLIANCE PLAN FOR COMPLIANCE REQUIREMENTS



PRELIMINARY  
NOT FOR CONSTRUCTION

0 1m 5m  
SCALE 1:100 A1 SIZE  
SCALE 1:200 A3 SIZE

7	ISSUED FOR DA	31/10/2024
6	PROGRESS ISSUE	28/10/2024
5	PROGRESS ISSUE	23/11/2023
4	PROGRESS ISSUE	17/11/2023
3	PROGRESS ISSUE	8/11/2023
2	ISSUED FOR COMMENT	15/08/2023
1	ISSUED FOR COMMENT	19/04/2023

Attenuations



**icono**  
BUILDING DESIGN  
**bdaa**  
ACCREDITED  
BUILDING DESIGNER  
Shop 30 Koorringal Mall  
Lake Albert Road  
PO Box 8834  
Wagga Wagga, NSW, 2650  
p: 02 6922 6388  
e: icono@icono.com.au  
w: www.icono.com.au

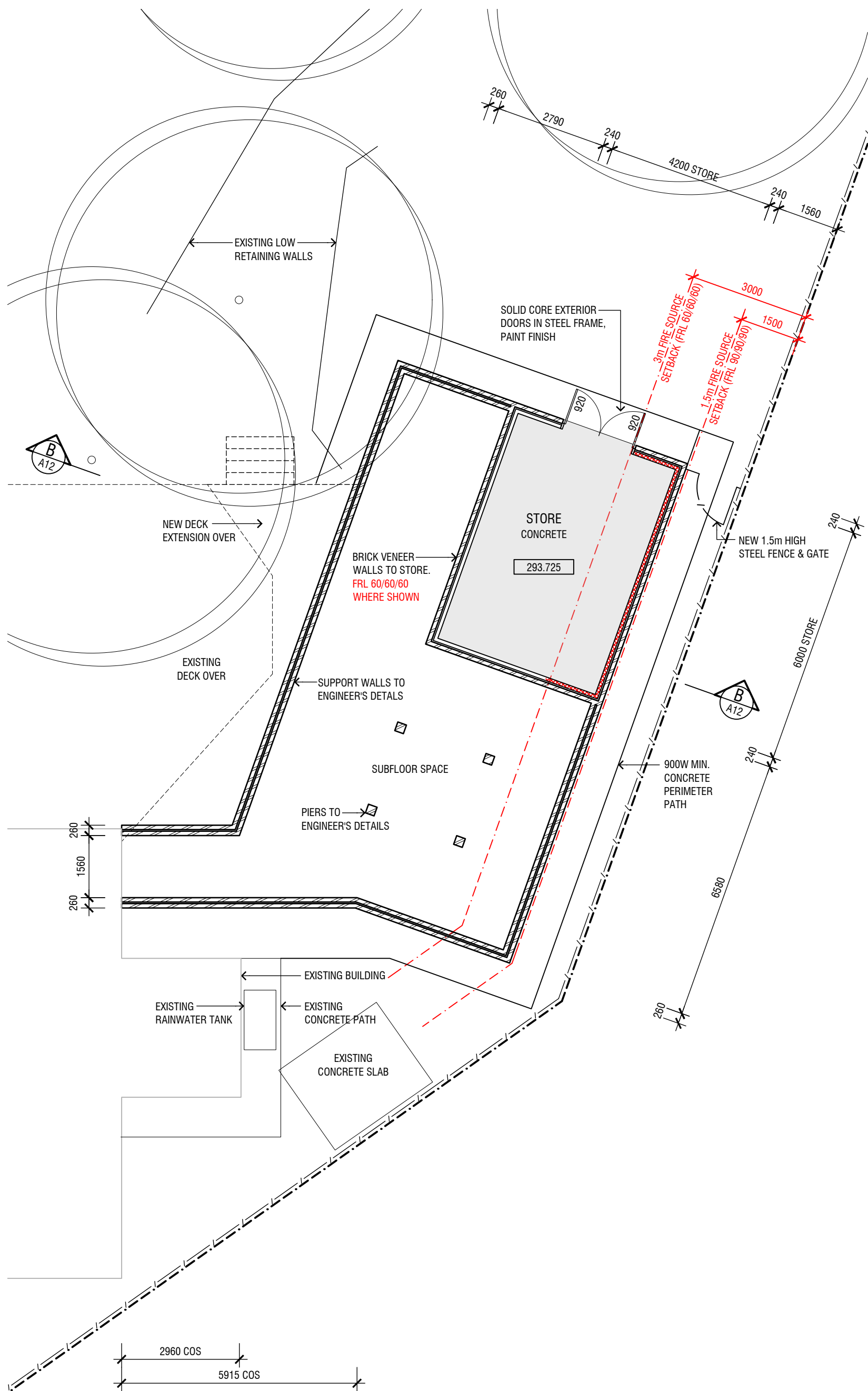
Project  
**PROPOSED ALTERATIONS AND ADDITIONS  
TUMUT COMMUNITY PRESCHOOL  
LOT 1, DP 828879  
50 HOWICK STREET, TUMUT**

Client  
**TUMUT COMMUNITY PRESCHOOL**

Sheet Title  
**FLOOR PLAN - UPPER LEVEL**

Project No. <b>22-37</b>	Designed <b>ICONO</b>	Sheet No. <b>A04</b>
Scale <b>AS SHOWN AT A1</b>	Drawn <b>ICONO</b>	Issue / Amendment No. <b>7</b>





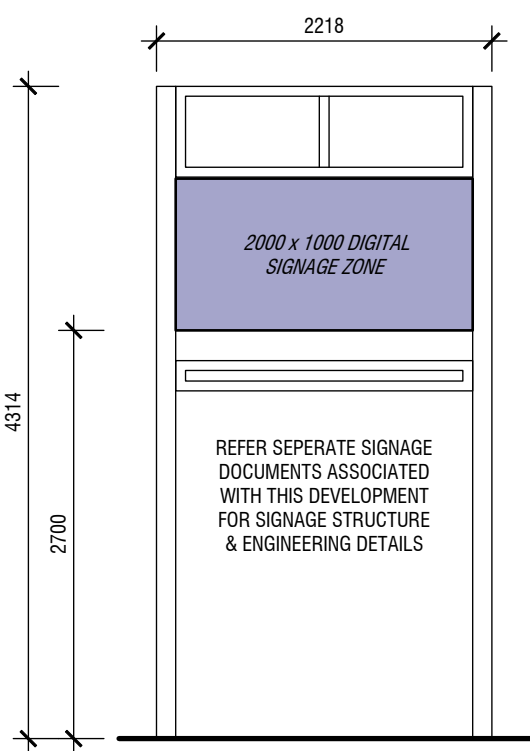
FLOOR PLAN - LOWER LEVEL  
SCALE 1:100

ABBREVIATIONS LEGEND

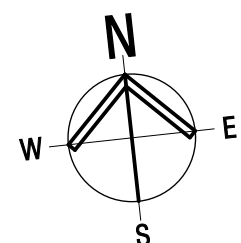
COS CHECK ON SITE

SYMBOLS LEGEND

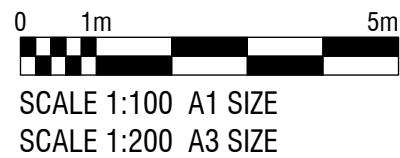
RED CROSS HATCH INDICATES EXTENT OF NEW FRL 60/60/60 WALLS



SIGN DETAIL - FRONT ELEVATION  
SCALE 1:50



PRELIMINARY  
NOT FOR CONSTRUCTION



7	ISSUED FOR DA	31/10/2024
6	PROGRESS ISSUE	28/10/2024
5	PROGRESS ISSUE	23/11/2023
4	PROGRESS ISSUE	17/11/2023
3	PROGRESS ISSUE	8/11/2023
2	ISSUED FOR COMMENT	15/08/2023
1	ISSUED FOR COMMENT	19/04/2023

Amendments



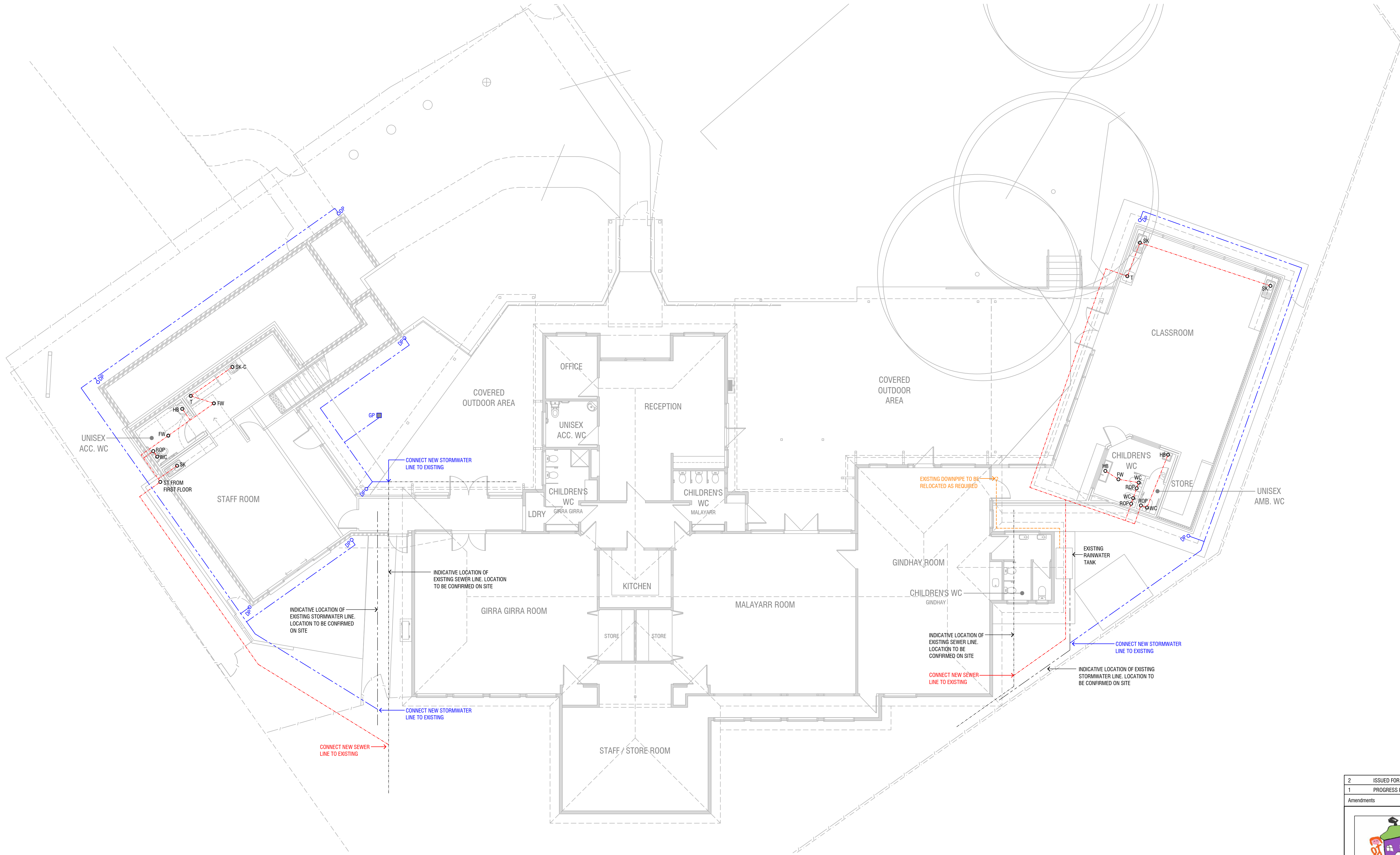
Shop 30 Koorringal Mall  
Lake Albert Road  
PO Box 8834  
Wagga Wagga, NSW, 2650  
p: 02 6922 6388  
e: icono@icono.com.au  
w: www.icono.com.au

Project  
**PROPOSED ALTERATIONS AND ADDITIONS  
TUMUT COMMUNITY PRESCHOOL  
LOT 1, DP 828879  
50 HOWICK STREET, TUMUT**

Client  
**TUMUT COMMUNITY PRESCHOOL**

Sheet Title  
**FLOOR PLAN - LOWER LEVEL**

Project No. <b>22-37</b>	Designed <b>ICONO</b>	Sheet No. <b>A05</b>
Scale <b>AS SHOWN AT A1</b>	Drawn <b>ICONO</b>	Issue / Amendment No. <b>7</b>



PLUMBING PLAN - GROUND LEVEL  
SCALE 1:100

PLUMBING LEGEND	
	STORMWATER PIPE - EXISTING
	SEWER PIPE - EXISTING
	STORMWATER PIPE - NEW
	SEWER PIPE - NEW

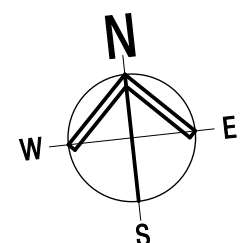
ABBREVIATIONS LEGEND

WC	TOILET (WATER CLOSET)
SK	SINK
SK-C	SINK - CLEANER'S
T	LAUNDRY TUB
HB	HAND BASIN
FW	FLOOR WASTE
ROP	ROD OUT POINT
ST	SEWER STACK

GP	DOWNPIPE - NEW
DP-E	DOWNPIPE - EXISTING
GP	GRATED PIT - NEW

SEWER & STORMWATER NOTE

PLUMBING LAYOUT SHOWN IS INDICATIVE ONLY. SEWER & STORMWATER DESIGN, NUMBER OF DOWNPIPES, LOCATIONS & CONNECTIONS TO PLUMBING CONTRACTORS DETAIL. CONTRACTOR TO LOCATE ALL UNDERGROUND SERVICES, BOUNDARY RISERS & MAINS SPURS PRIOR TO COMMENCEMENT OF WORK. CONNECT NEW SEWER & STORMWATER PIPE SYSTEM TO EXISTING COUNCIL MAINS SYSTEM IN ACCORDANCE WITH NCC AND PLUMBING CODE REQUIREMENTS.



**PRELIMINARY**  
NOT FOR CONSTRUCTION



2	ISSUED FOR DA	31/10/2024
1	PROGRESS ISSUE	28/10/2024

Amendments



bdaa  
ACCREDITED  
BUILDING DESIGNER

Shop 30 Koorngal Mall  
Lake Albert Road  
PO Box 8834  
Wagga Wagga, NSW, 2650  
p: 02 6922 6388  
e: [icono@icono.com.au](mailto:icono@icono.com.au)  
w: [www.icono.com.au](http://www.icono.com.au)

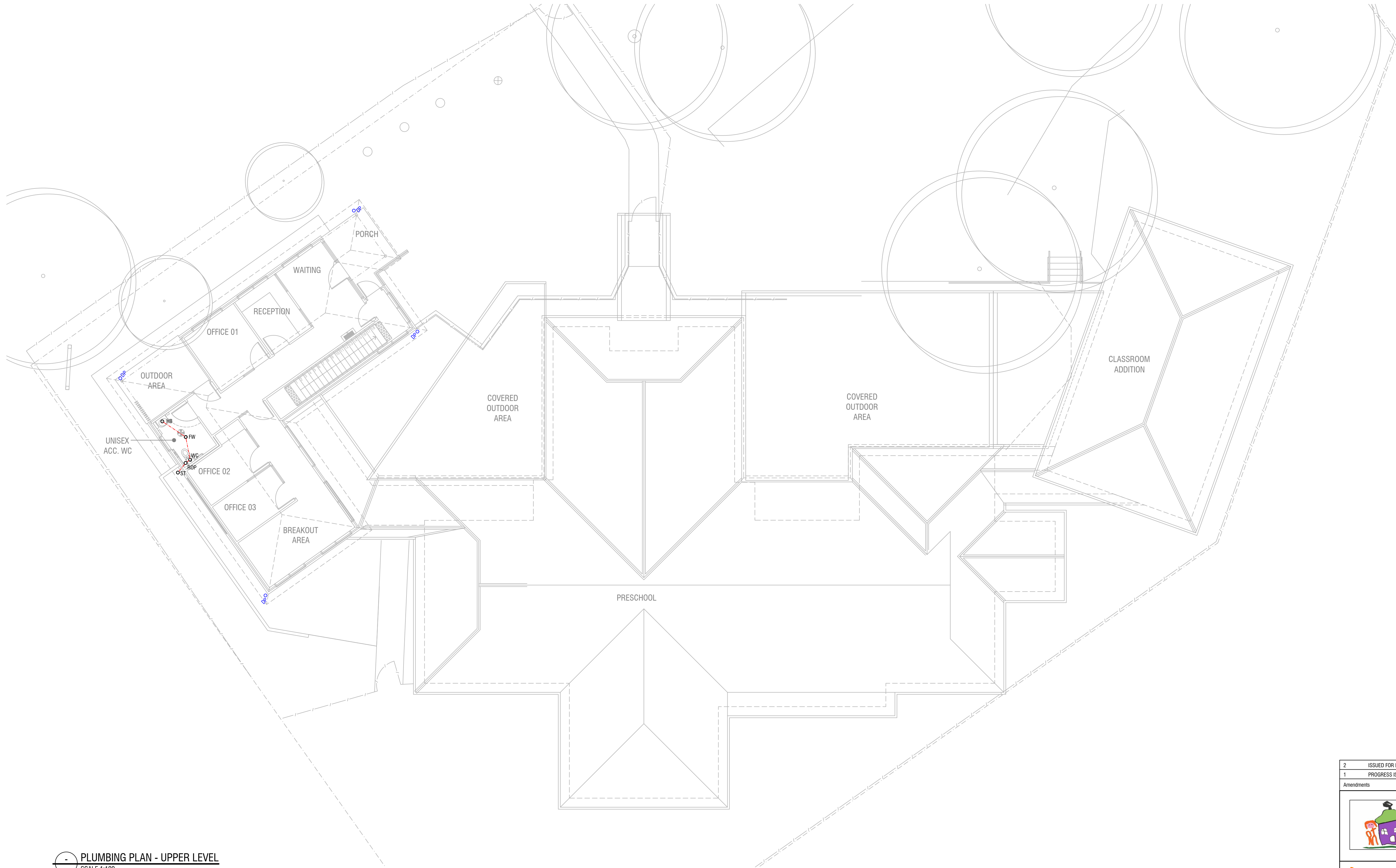
Project  
**PROPOSED ALTERATIONS AND ADDITIONS  
TUMUT COMMUNITY PRESCHOOL  
LOT 1, DP 828879  
50 HOWICK STREET, TUMUT**

Client  
**TUMUT COMMUNITY PRESCHOOL**

Sheet Title  
**PLUMBING PLAN - GROUND LEVEL**

Project No. <b>22-37</b>	Designed <b>ICONO</b>	Sheet No. <b>A06</b>
Scale <b>AS SHOWN AT A1</b>	Drawn <b>ICONO</b>	Issue / Amendment No. <b>2</b>





PLUMBING PLAN - UPPER LEVEL  
SCALE 1:100

PLUMBING LEGEND	
---	STORMWATER PIPE - EXISTING
---	SEWER PIPE - EXISTING
---	STORMWATER PIPE - NEW
---	SEWER PIPE - NEW

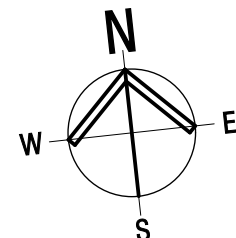
ABBREVIATIONS LEGEND

SEWER	
WC	TOILET (WATER CLOSET)
SK	SINK
SK-C	SINK - CLEANERS
T	LAUNDRY TUB
HB	HAND BASIN
FW	FLOOR WASTE
ROP	ROOF OUT POINT
ST	SEWER STACK

STORMWATER	
DP	DOWNPIPE - NEW
DP-E	DOWNPIPE - EXISTING
GP	GRADED PIT - NEW

SEWER & STORMWATER NOTE

PLUMBING LAYOUT SHOWN IS INDICATIVE ONLY. SEWER & STORMWATER DESIGN, NUMBER OF DOWNPIPES, LOCATIONS & CONNECTIONS TO PLUMBING CONTRACTORS DETAIL. CONTRACTOR TO LOCATE ALL UNDERGROUND SERVICES, BOUNDARY RISERS & MAINS SPURS PRIOR TO COMMENCEMENT OF WORK. CONNECT NEW SEWER & STORMWATER PIPE SYSTEM TO EXISTING COUNCIL MAINS SYSTEM IN ACCORDANCE WITH NCC AND PLUMBING CODE REQUIREMENTS.



PRELIMINARY  
NOT FOR CONSTRUCTION



2	ISSUED FOR DA	31/10/2024
1	PROGRESS ISSUE	28/10/2024

Amendments



**icono**  
BUILDING DESIGN  
bdaa  
ACCREDITED  
BUILDING DESIGNER

Shop 30 Koorringal Mall  
Lake Albert Road  
PO Box 8834  
Wagga Wagga, NSW, 2650  
p: 02 6922 6388  
e: icono@icono.com.au  
w: www.icono.com.au

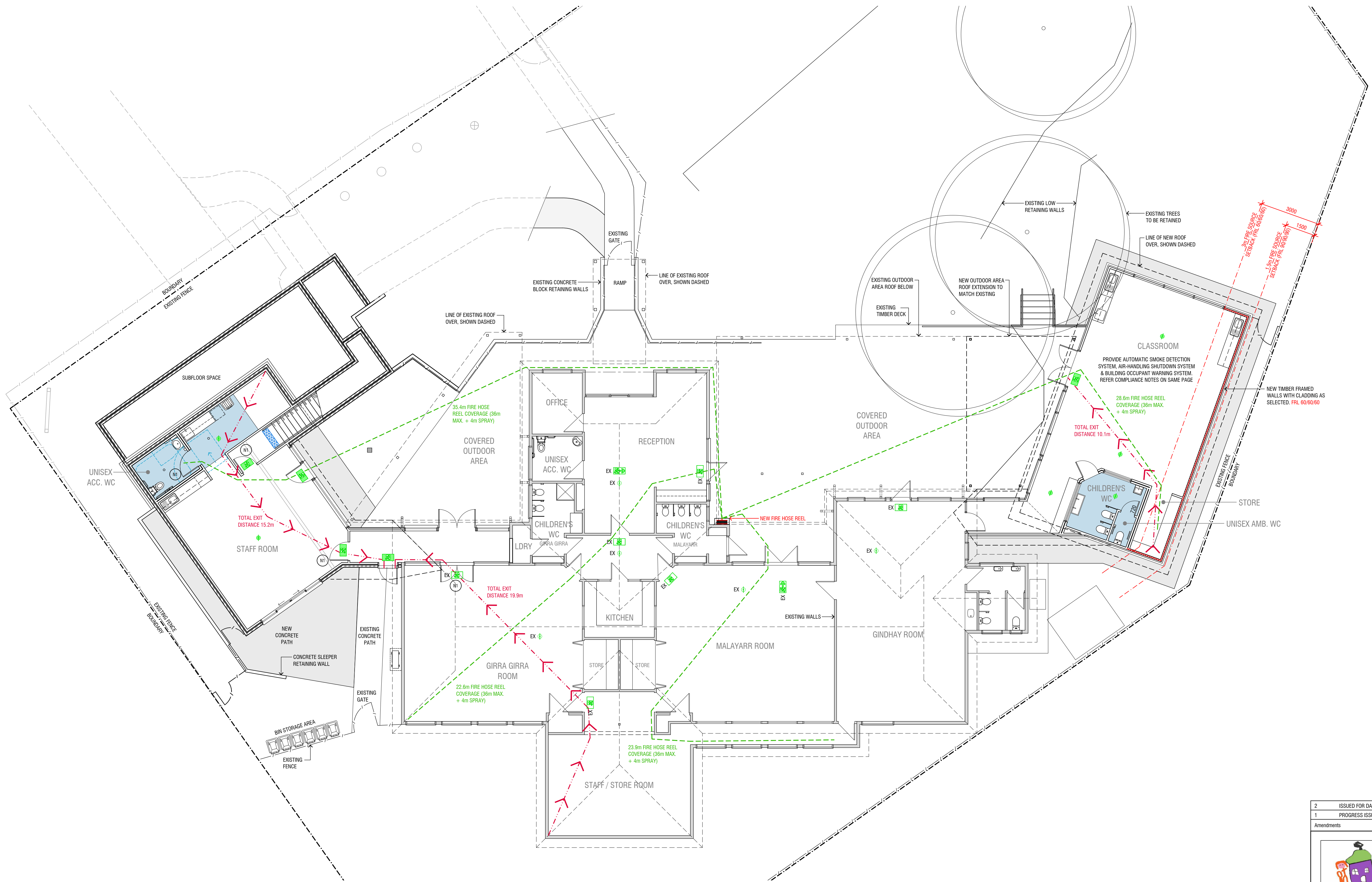
Project  
**PROPOSED ALTERATIONS AND ADDITIONS  
TUMUT COMMUNITY PRESCHOOL  
LOT 1, DP 828879  
50 HOWICK STREET, TUMUT**

Client  
**TUMUT COMMUNITY PRESCHOOL**

Sheet Title  
**PLUMBING PLAN - UPPER LEVEL**

Project No. <b>22-37</b>	Designed <b>ICONO</b>	Sheet No. <b>A07</b>
Scale <b>AS SHOWN AT A1</b>	Drawn <b>ICONO</b>	Issue / Amendment No. <b>2</b>





**FIRE & EXIT COMPLIANCE PLAN - GROUND LEVEL**  
SCALE 1:100

**FIRE & EXIT COMPLIANCE NOTES**

THIS PLAN IS INDICATIVE ONLY. ALL EQUIPMENT & SYSTEMS TO BE SELECTED, LOCATED AND INSTALLED BY AN APPROPRIATELY ACCREDITED PERSON. REFER COMPLIANCE NOTES ON PAGE A01 FOR ALL FIRE SAFETY MEASURE STANDARDS OF PERFORMANCE.

AUTOMATIC SMOKE DETECTION SYSTEM, AIR-HANDLING SHUTDOWN SYSTEM & BUILDING OCCUPANT WARNING SYSTEM TO BE SELECTED AND INSTALLED IN ACCORDANCE WITH BCA VOL. 1, SPECIFICATION 20.

BUILDING CONTRACTOR TO ENSURE ALL NEW & EXISTING REQUIRED EXIT DOORS & DOOR HARDWARE TO COMPLY WITH BCA VOL. 1, PART D3 CONSTRUCTION OF EXITS.

**SYMBOLS LEGEND**

EX EXIT SIGN - EXISTING  
EX EXIT SIGN (LED)  
EX EXIT SIGN DIRECTIONAL - EXISTING  
EX EXIT SIGN DIRECTIONAL (LED)

EXIT SIGNS TO BE SELECTED, LOCATED AND INSTALLED IN ACCORDANCE WITH BCA VOL. 1, E405 - E408 AND AS2295.1 EMERGENCY LIGHTING AND EXIT SIGNS FOR BUILDINGS.

EX EMERGENCY LIGHT - EXISTING  
EX EMERGENCY LIGHT

EMERGENCY LIGHTS SELECTED, LOCATED AND INSTALLED IN ACCORDANCE WITH BCA VOL. 1, E402 EMERGENCY LIGHTING REQUIREMENTS.

FIRE HOSE REEL IN CABINET

FIRE HOSE REEL IN ACCORDANCE WITH BCA VOL. 1, E1D3 FIRE HOSE REELS AND AS2441 INSTALLATION OF FIRE HOSE REELS

FIRE INDICATOR PANEL

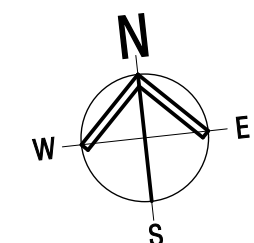
RED CROSS HATCH INDICATES EXTENT OF NEW FRL 60/60/60 WALLS. REFER DETAIL.

EXIT PATH OF TRAVEL. ARROW INDICATES DIRECTION OF TRAVEL

FIRE HOSE REEL COVERAGE

**NOTES**

DOOR TO BE FITTED WITH HOLD-OPEN DEVICE IN ACCORDANCE WITH BCA VOL. 1, D3025 SWINGING DOORS. (1)(b)(i)



**PRELIMINARY**  
NOT FOR CONSTRUCTION

0 1m 5m  
SCALE 1:100 A1 SIZE  
SCALE 1:200 A3 SIZE

2	ISSUED FOR DA	31/10/2024
1	PROGRESS ISSUE	28/10/2024

**Amendments**



Project  
**PROPOSED ALTERATIONS AND ADDITIONS  
TUMUT COMMUNITY PRESCHOOL  
LOT 1, DP 828879  
50 HOWICK STREET, TUMUT**

Client  
**TUMUT COMMUNITY PRESCHOOL**

Sheet Title  
**FIRE & EXIT COMPLIANCE PLAN - GROUND LEVEL**

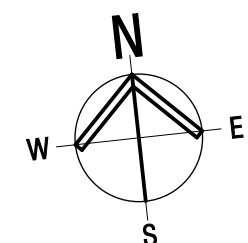
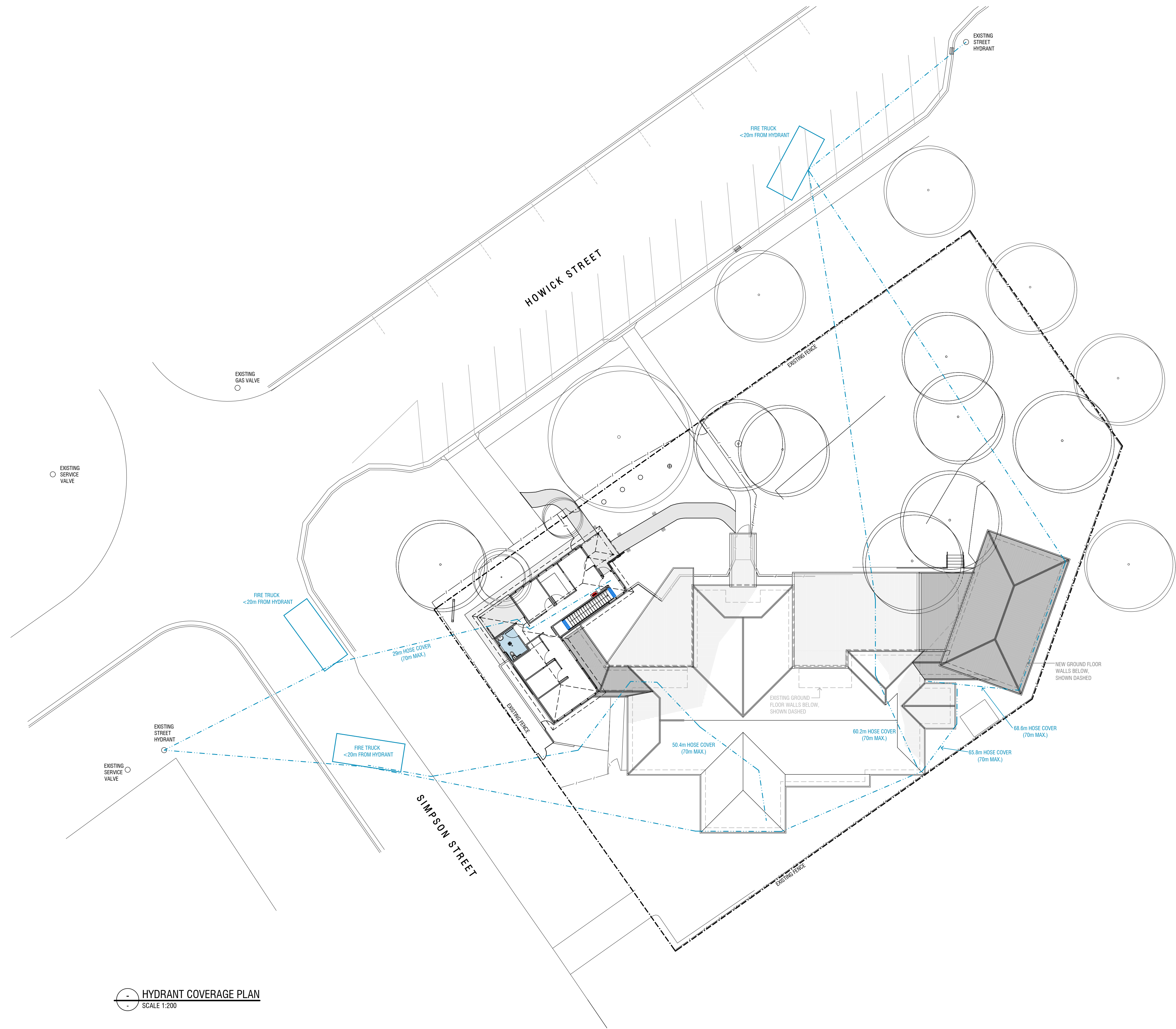
Project No. <b>22-37</b>	Designed <b>ICONO</b>	Sheet No. <b>A08</b>
Scale <b>AS SHOWN AT A1</b>	Drawn <b>ICONO</b>	Issue / Amendment No. <b>2</b>



Architectural floor plan of a building with various rooms and outdoor areas. The plan includes labels for 'OFFICE 01', 'OFFICE 02', 'OFFICE 03', 'RECEPTION', 'WAITING', 'PORCH', 'INTERNAL STAIRS', 'UNISEX ACC. WC', 'OUTDOOR AREA', 'COVERED OUTDOOR AREA', 'PRESCHOOL', 'CLASSROOM ADDITION', and 'BREAKOUT AREA'. It also shows fire safety features like 'NEW FIRE HOSE REEL' and 'FIRE EXITS'. Dimensions and distances are noted, such as 'TOTAL EXIT DISTANCE 19.9M' and '15.5m FIRE HOSE REEL COVERAGE (30M MAX.)'. A dashed line indicates the 'EXISTING GROUND FLOOR WALLS BELOW, SHOWN DASHED'.

## A09





**PRELIMINARY**  
NOT FOR CONSTRUCTION



2	ISSUED FOR DA	31/10/2024
1	PROGRESS ISSUE	28/10/2024

Amendments



**icono**  
BUILDING DESIGN  
**bdaa**  
ACCREDITED  
BUILDING DESIGNER

Shop 30 Koorringal Mall  
Lake Albert Road  
PO Box 8834  
Wagga Wagga, NSW, 2650  
p: 02 6922 6388  
e: icono@icono.com.au  
w: www.icono.com.au

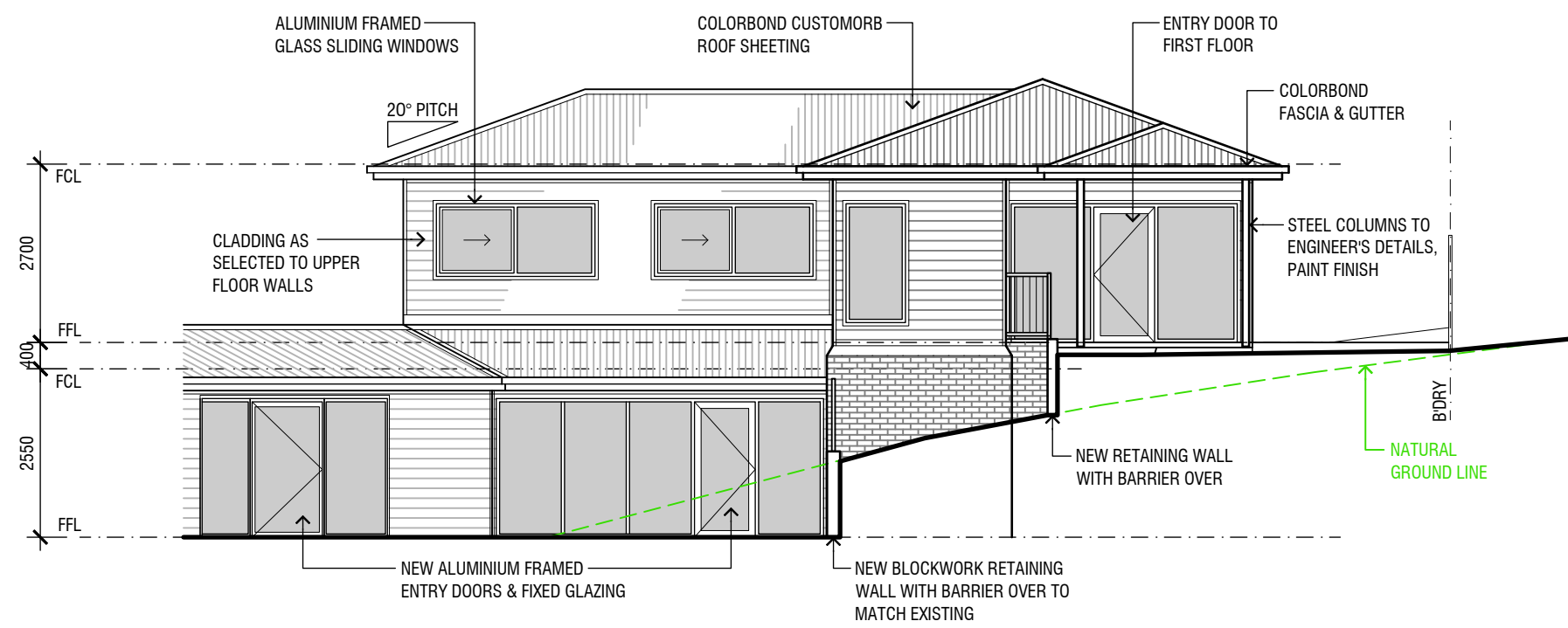
Project  
**PROPOSED ALTERATIONS AND ADDITIONS  
TUMUT COMMUNITY PRESCHOOL  
LOT 1, DP 828879  
50 HOWICK STREET, TUMUT**

Client  
**TUMUT COMMUNITY PRESCHOOL**

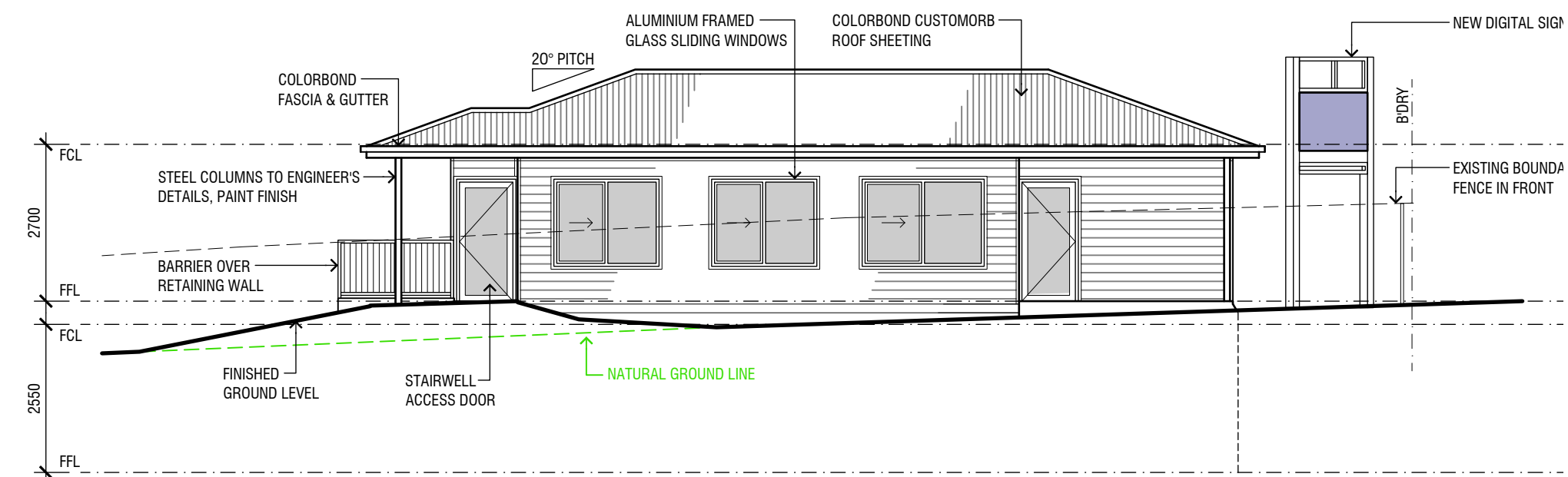
Sheet Title  
**HYDRANT COVERAGE PLAN**

Project No. <b>22-37</b>	Designed <b>ICONO</b>	Sheet No. <b>A10</b>
Scale <b>AS SHOWN AT A1</b>	Drawn <b>ICONO</b>	Issue / Amendment No. <b>2</b>

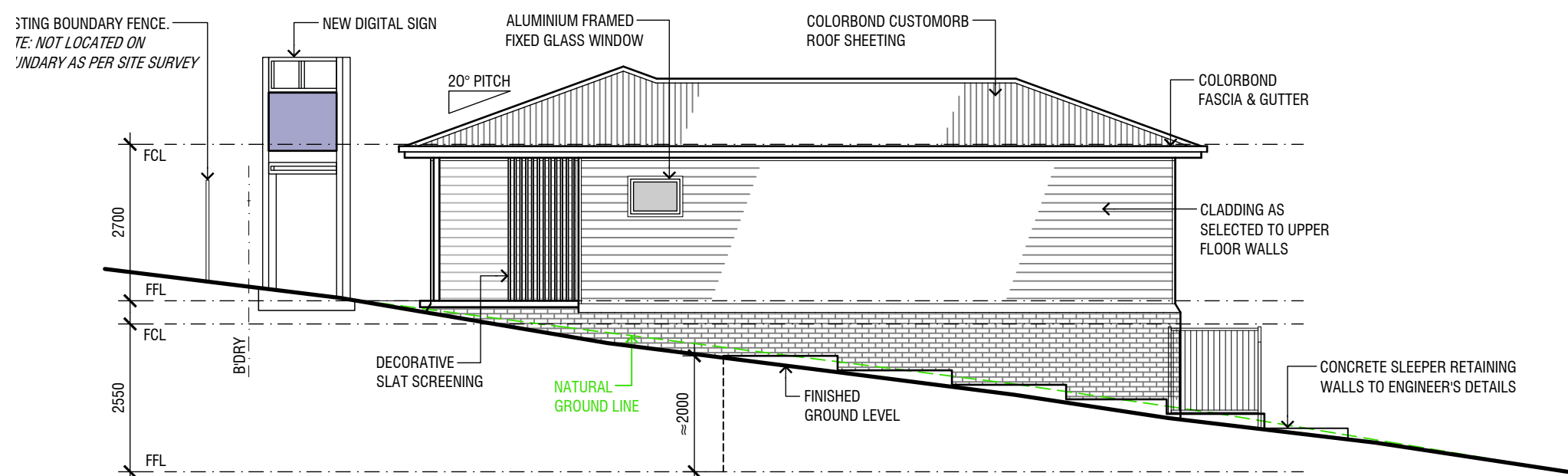




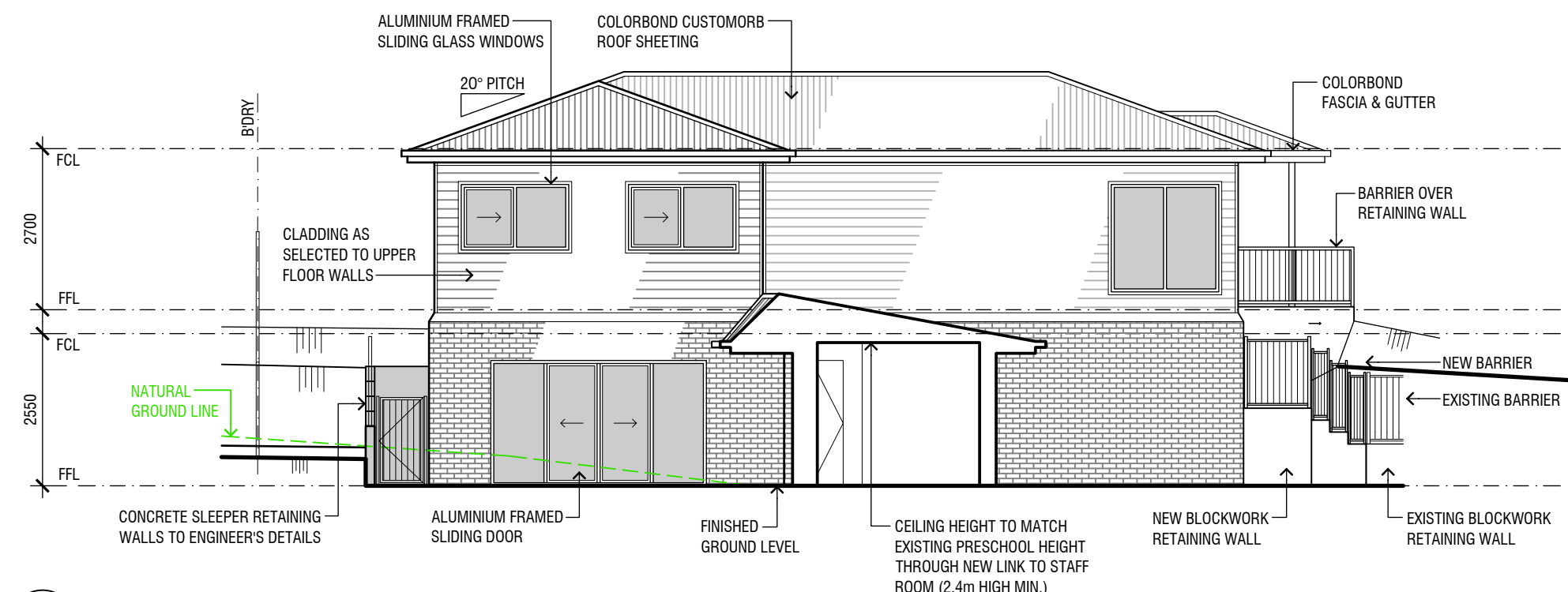
**NORTH EAST ELEVATION**  
SCALE 1:100



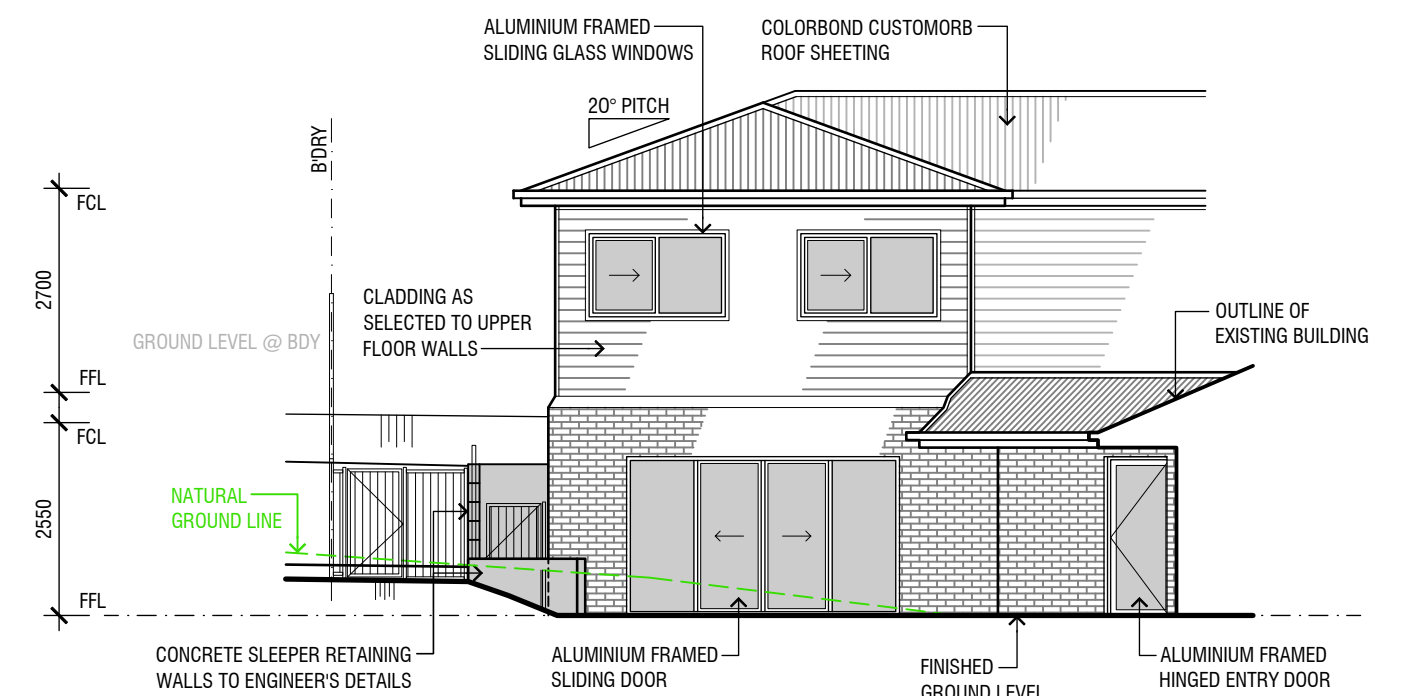
**NORTH WEST ELEVATION**  
SCALE 1:100



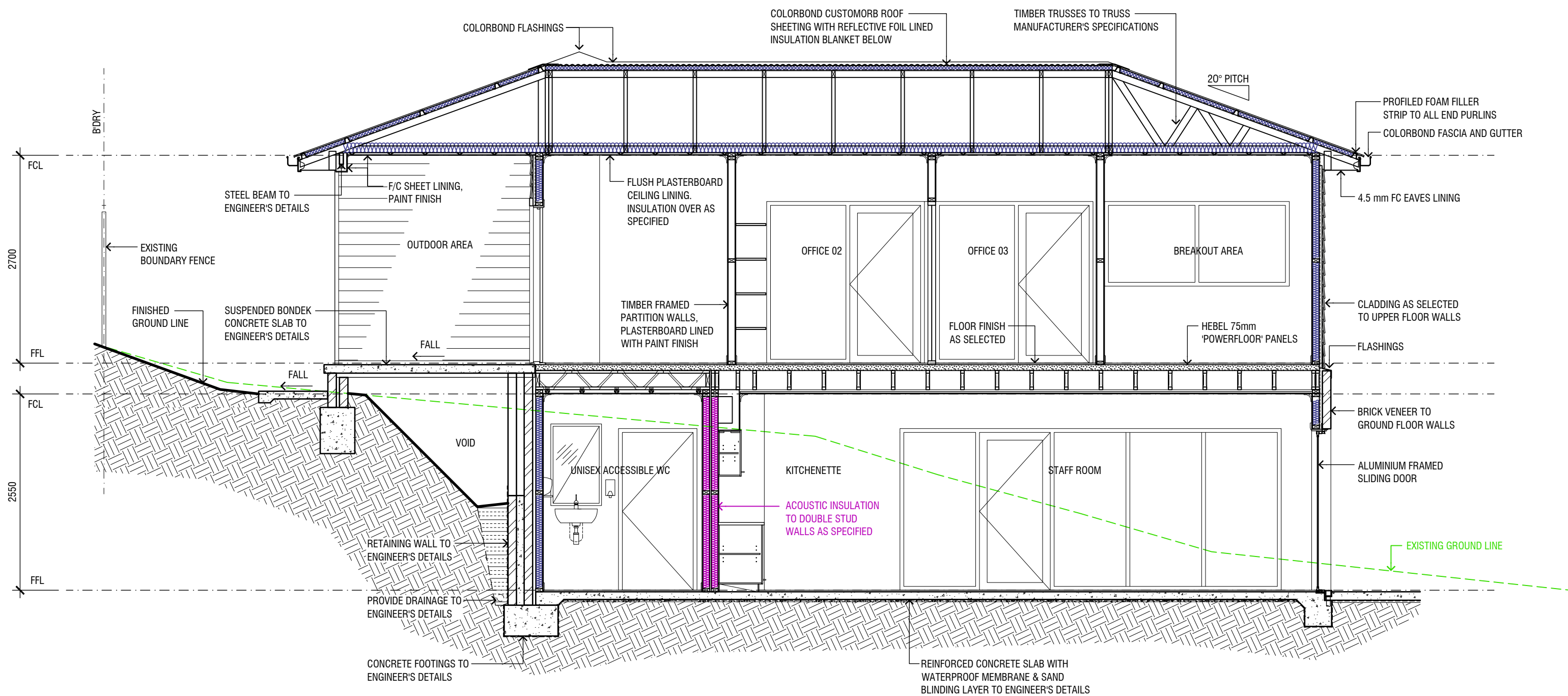
**SOUTH WEST ELEVATION**  
SCALE 1:100



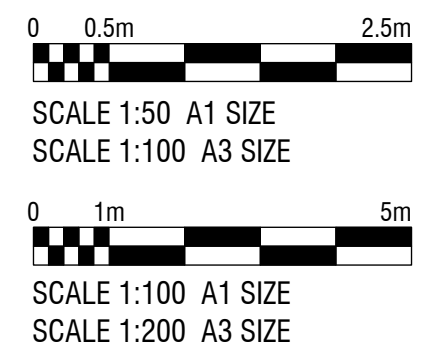
**SOUTH EAST ELEVATION**  
SCALE 1:100



**SOUTH EAST PARTIAL ELEVATION**  
SCALE 1:100



**SECTION A**  
SCALE 1:50



**PRELIMINARY**  
NOT FOR CONSTRUCTION

5	ISSUED FOR DA	31/10/2024
4	PROGRESS ISSUE	28/10/2024
3	PROGRESS ISSUE	23/11/2023
2	PROGRESS ISSUE	17/11/2023
1	ISSUED FOR COMMENT	15/08/2023

Amendments



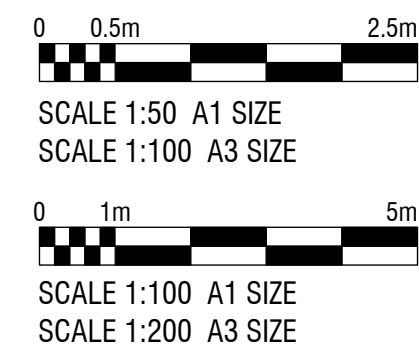
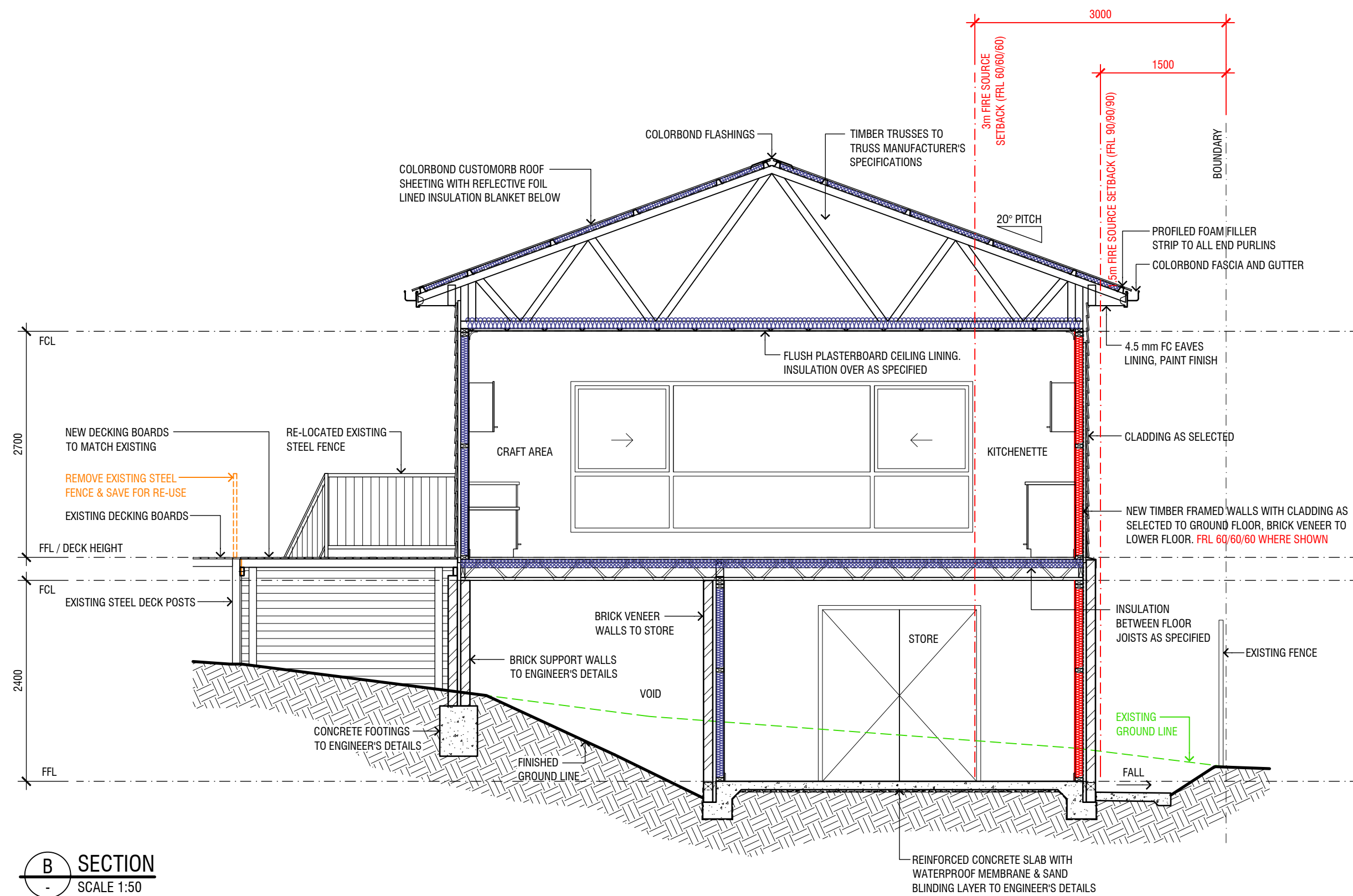
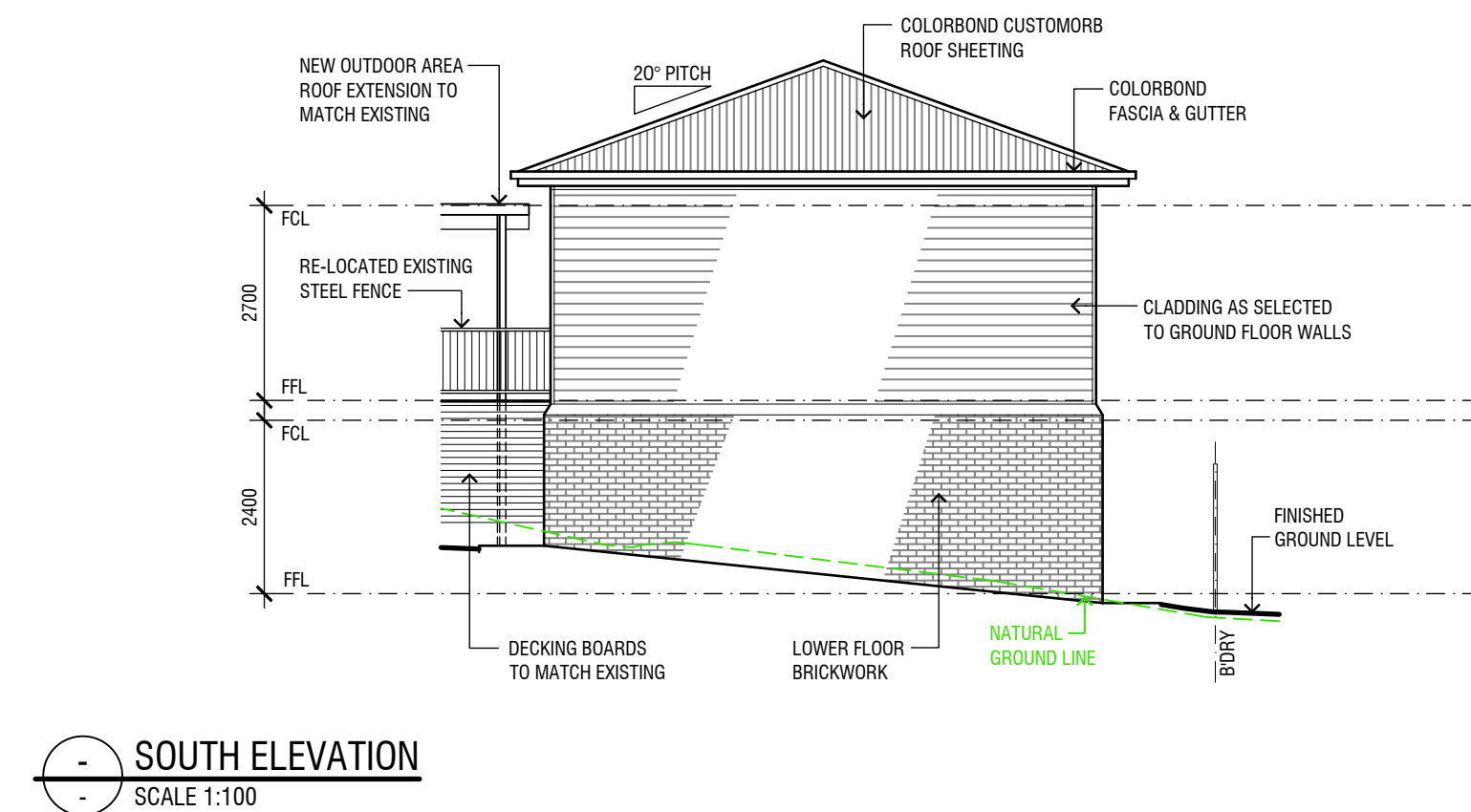
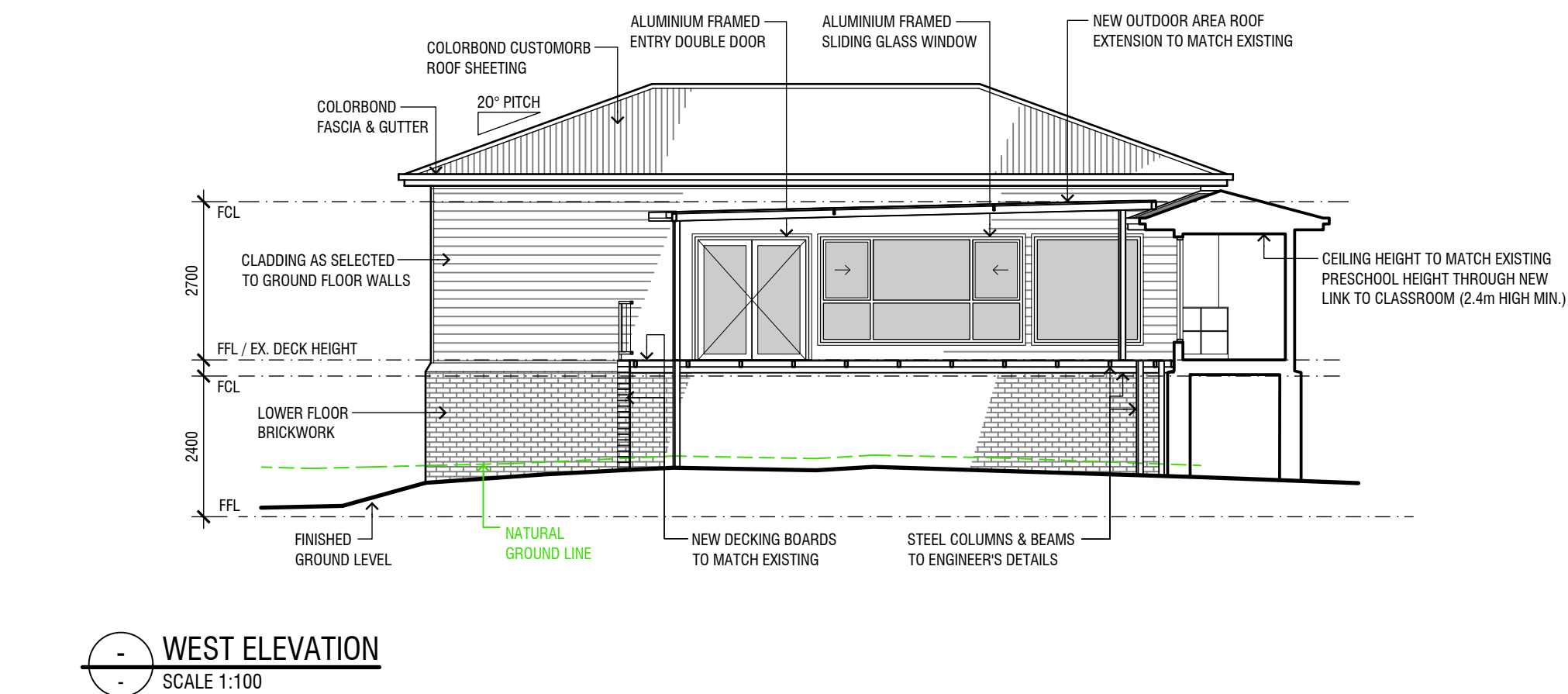
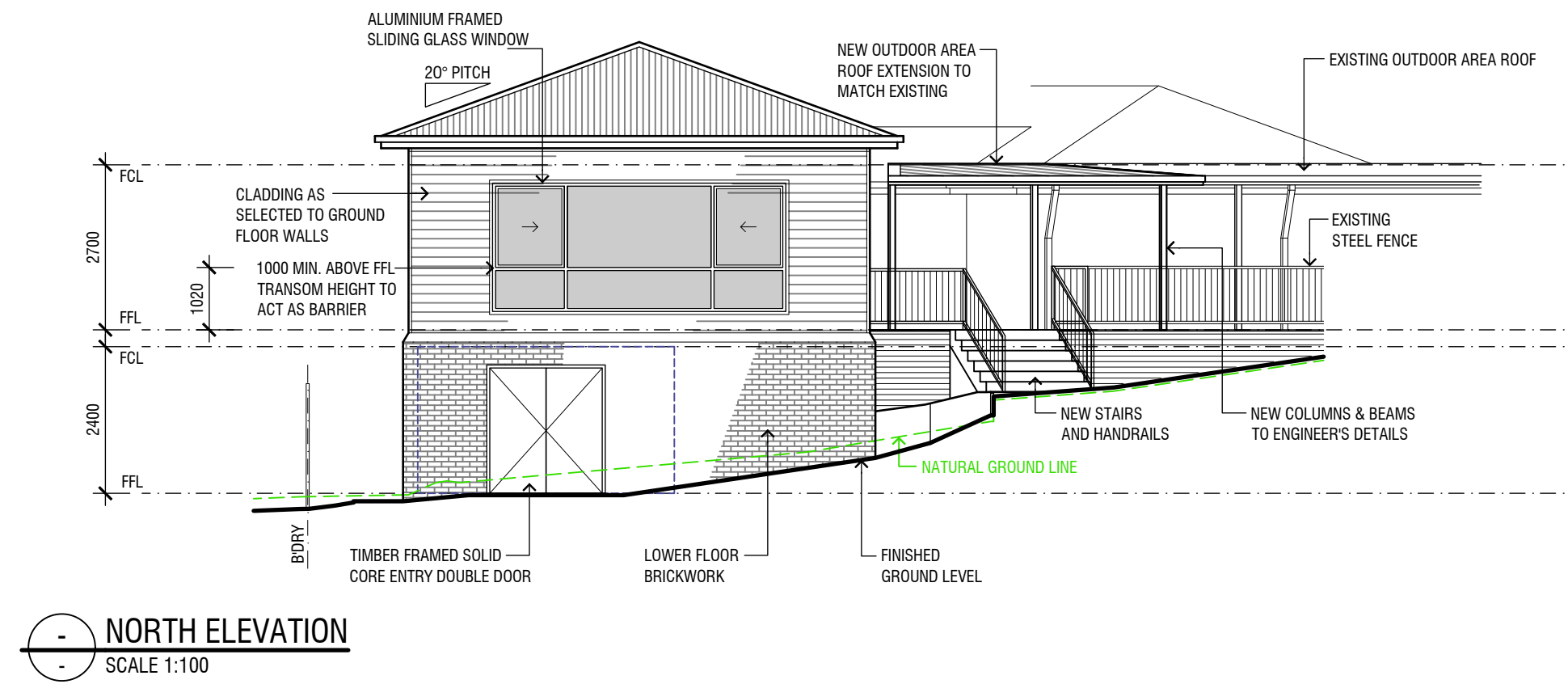
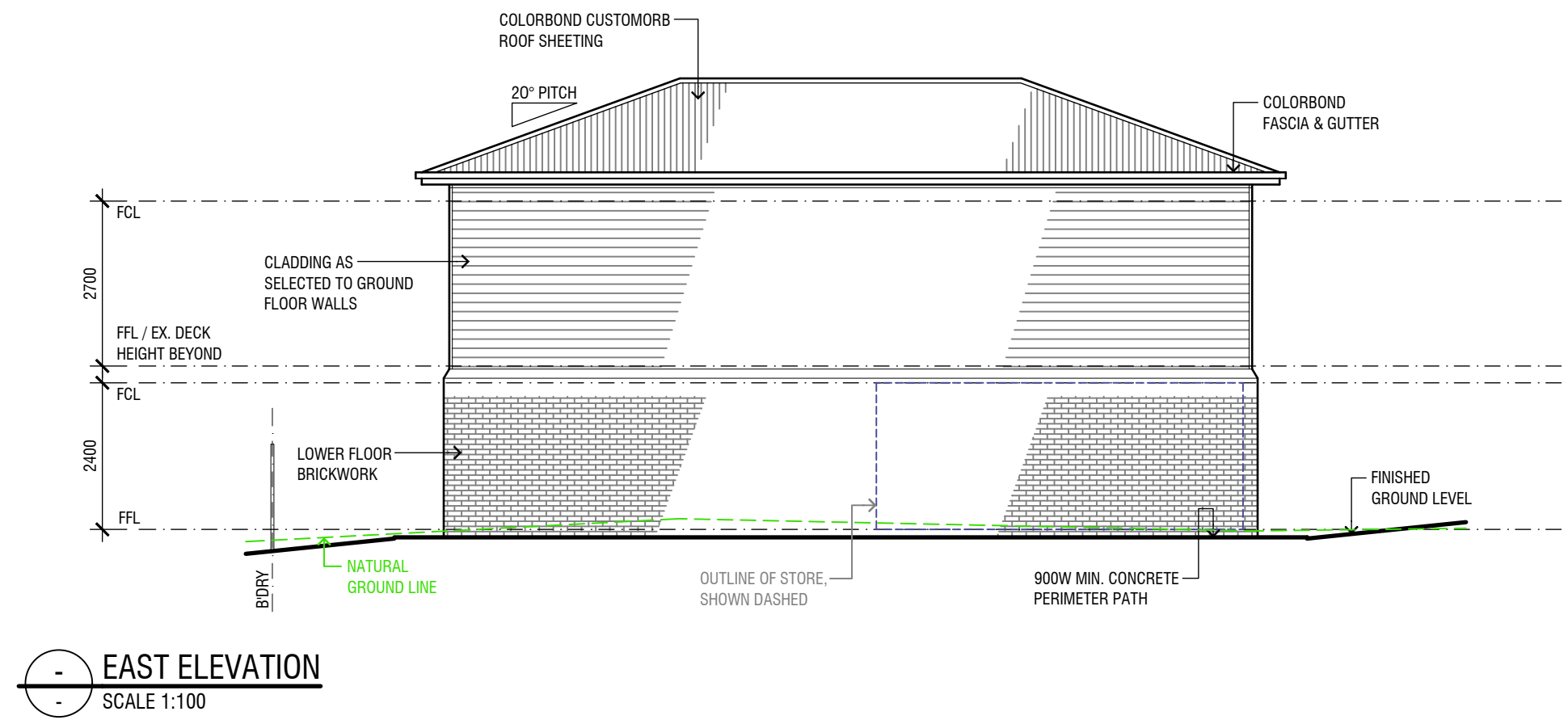
Project  
**PROPOSED ALTERATIONS AND ADDITIONS  
TUMUT COMMUNITY PRESCHOOL  
LOT 1, DP 828879  
50 HOWICK STREET, TUMUT**

Client  
**TUMUT COMMUNITY PRESCHOOL**

Sheet Title  
**ELEVATIONS & SECTION - OFFICE**

Project No. <b>22-37</b>	Designed <b>ICONO</b>	Sheet No. <b>A11</b>
Scale <b>AS SHOWN AT A1</b>	Drawn <b>ICONO</b>	Issue / Amendment No. <b>5</b>





PRELIMINARY  
NOT FOR CONSTRUCTION

3	ISSUED FOR DA	31/10/2024
2	PROGRESS ISSUE	28/10/2024
1	PROGRESS ISSUE	23/11/2023



Project  
**PROPOSED ALTERATIONS AND ADDITIONS  
TUMUT COMMUNITY PRESCHOOL  
LOT 1, DP 828879  
50 HOWICK STREET, TUMUT**

Client <b>TUMUT COMMUNITY PRESCHOOL</b>	Project No. <b>22-37</b>	Designed <b>ICONO</b>	Sheet No. <b>A12</b>
Sheet Title <b>ELEVATIONS &amp; SECTION - CLASSROOM</b>	Scale <b>AS SHOWN AT A1</b>	Drawn <b>ICONO</b>	Issue / Amendment No. <b>3</b>